

**REGIONAL DISTRICT OF NANAIMO
ELECTORAL AREA SERVICES COMMITTEE
AGENDA**

Tuesday, July 9, 2019

1:30 P.M.

Board Chambers

This meeting will be recorded

Pages

1. CALL TO ORDER

2. APPROVAL OF THE AGENDA

3. ADOPTION OF MINUTES

3.1 Electoral Area Services Committee Meeting - June 11, 2019

5

That the minutes of the Electoral Area Services Committee meeting held June 11, 2019, be adopted.

4. DELEGATIONS

5. CORRESPONDENCE

6. COMMITTEE MINUTES

That the following minutes be received for information:

6.1 Electoral Area A Parks, Recreation and Culture Commission - June 19, 2019

10

6.2 Electoral Area B Parks and Open Space Advisory Committee - June 17, 2019

12

6.3 East Wellington / Pleasant Valley Parks and Open Space Advisory Committee - May 27, 2019

15

6.4 Nanoose Bay Parks and Open Space Advisory Committee - June 12, 2019

17

6.5 Electoral Area H Parks and Open Space Advisory Committee - June 24, 2019

19

7. COMMITTEE RECOMMENDATIONS

7.1 Electoral Area A Parks, Recreation and Culture Commission

7.1.1 Request for Statements of Qualifications Inventory of Recreation Services in Electoral Area A 21

That the Request for Statements of Qualifications be issued to conduct an inventory of existing recreation services, programs and facilities within Electoral Area A.

7.2 Electoral Area B Parks and Open Space Advisory Committee

7.2.1 5-year Project Plan - Electoral Area B Spring 2019 26

Please note: The original recommendation was varied by the Committee.

That the 5-year Project Plan: 2020-2024 for Community Parks in Electoral Area B be approved with the addition of Rollo Park Management Plan to 2022, the addition of Disk Golf feasibility assessment to Additional Project Suggestions, and the transfer of Bells Landing Water Access Boat Launch Feasibility Study from 2022 to Additional Project Suggestions.

7.3 East Wellington / Pleasant Valley Parks and Open Space Advisory Committee

7.3.1 5-year Project Plan – Electoral Area C-EW/PV 31

That the 5-year Project Plan: 2020-2024 for Community Parks in Electoral Area C-EW/PV be approved.

7.4 Nanoose Bay Parks and Open Space Advisory Committee

7.4.1 5-year Project Plan - Electoral Area E Spring 2019 34

Please note: The original recommendation was varied by the Committee.

That the 5-year Project Plan: 2020-2024 for Community Parks in Electoral Area E be approved with the addition of 2020 beach access signage and 2020 Nanoose Road Community Park signage.

7.5 Electoral Area H Parks and Open Space Advisory Committee

7.5.1 5-year Project Plan - Electoral Area H Spring 2019 38

That the 5-year Project Plan: 2020-2024 for Community Parks in Electoral Area H be approved.

8. PLANNING

8.1 Development Permit with Variance

8.1.1 Development Permit with Variance Application No. PL2019-076 - 862 Poplar Way, Electoral Area F 42

1. That the Board approve Development Permit with Variance No. PL2019-076 to permit the construction of an accessory building subject to the terms and conditions outlined in Attachment 2.

2. That the Board direct staff to complete the required notification for Development Permit with Variance No. PL2019-076.

8.1.2 Development Permit with Variance Application No. PL2018-207 - Lot 2, Island Highway West, Electoral Area H 57

1. That the Board approve Development Permit with Variance No. PL2018-207 to permit the development of a dwelling unit, accessory buildings and structures, driveway, stream crossings, yard area, and onsite servicing subject to the terms and conditions outlined in Attachment 2, Schedules 1 to 3.

2. That the Board direct staff to complete the required notification for Development Permit with Variance No. PL2018-207.

8.1.3 Development Permit with Variance Application No. PL2019-072 - 585 Wain Road, Electoral Area G 76

1. That the Board approve Development Permit with Variance No. PL2019-072 to permit the construction of an addition to the dwelling unit and the accessory building subject to the terms and conditions outlined in Attachment 2.

2. That the Board direct staff to complete the required notification for Development Permit with Variance No. PL2019-072.

8.2 Other

8.2.1 OCP and Zoning Amendments for Nanaimo Airport Draft Amendments for Consultation 87

That the Board receive, for the purpose of community and stakeholder consultation, the draft Official Community Plan and zoning bylaw amendments for the Nanaimo Airport lands, as contained in Attachments 6 and 7.

9. COMMUNITY PARKS

9.1 Active Transportation Infrastructure Memorandum of Understanding 114

That the Active Transportation Infrastructure Memorandum of Understanding with the Ministry of Transportation and Infrastructure be approved.

10. BUILDING INSPECTION

10.1 Building Permit Activity – Second Quarter 2019 122

That the report Building Permit Activity – Second Quarter 2019 be received for information.

11. BUSINESS ARISING FROM DELEGATIONS

12. MOTIONS FOR WHICH NOTICE HAS BEEN GIVEN

12.1 Signage for Nanoose Road Community Park

Director Rogers provided notice of the following motion to the Corporate Officer:

That pending project approval by the Union of BC Municipalities, up to \$3,000 of unallocated 2019 Electoral Area E Community Works Funds be allocated to the Nanoose Road Community Park for signage.

13. NEW BUSINESS

13.1 Directors' Roundtable

14. ADJOURNMENT

**REGIONAL DISTRICT OF NANAIMO
MINUTES OF THE ELECTORAL AREA SERVICES COMMITTEE MEETING**

**Tuesday, June 11, 2019
1:30 P.M.
Board Chambers**

In Attendance:	Director B. Rogers	Chair
	Director K. Wilson	Electoral Area A
	Director V. Craig	Electoral Area B
	Director M. Young	Electoral Area C
	Director L. Salter	Electoral Area F
	Director C. Gourlay	Electoral Area G
	Director S. McLean	Electoral Area H
	Also in Attendance:	P. Carlyle
R. Alexander		Gen. Mgr. Regional & Community Utilities
G. Garbutt		Gen. Mgr. Strategic & Community Development
T. Osborne		Gen. Mgr. Recreation & Parks
D. Wells		Gen. Mgr. Corporate Services
D. Pearce		Director of Transportation & Emergency Services
P. Thompson		Mgr. Current Planning
T. Mayea		Legislative Coordinator
C. Golding	Recording Secretary	

CALL TO ORDER

The Chair called the meeting to order and respectfully acknowledged the Coast Salish Nations on whose traditional territory the meeting took place.

APPROVAL OF THE AGENDA

It was moved and seconded that the agenda be approved as presented.

CARRIED UNANIMOUSLY

ADOPTION OF MINUTES

Electoral Area Services Committee Meeting - May 14, 2019

It was moved and seconded that the minutes of the Electoral Area Services Committee meeting held May 14, 2019 be adopted.

CARRIED UNANIMOUSLY

COMMITTEE MINUTES

It was moved and seconded that the following minutes be received for information:

Electoral Area F Parks and Open Space Advisory Committee - May 22, 2019

Electoral Area G Parks and Open Space Advisory Committee - May 28, 2019

CARRIED UNANIMOUSLY

COMMITTEE RECOMMENDATIONS

Electoral Area F Parks & Open Space Advisory Committee

5-year Project Plan – Electoral Area F

It was moved and seconded that the 5-year Project Plan: 2020-2024 for Community Parks in Electoral Area F be approved.

CARRIED UNANIMOUSLY

Electoral Area G Parks & Open Space Advisory Committee

5-year Project Plan – Electoral Area G

It was moved and seconded that the 5-year Project Plan: 2020-2024 for Community Parks in Electoral Area G be approved as presented.

CARRIED UNANIMOUSLY

It was moved and seconded that Electoral Area G Community Works Funds (CWF) be used for Maple Lane Park following community feedback at the June 17, 2019 Maple Lane Park Open House and staff providing costing on selected park design elements for the Board's future consideration and approval of the CWF amount for the project.

CARRIED UNANIMOUSLY

PLANNING

Zoning Amendment

Zoning Amendment Application No. PL2019-037 – 760, 770, 772 and 780 Horne Lake Road, Electoral Area H – Amendment Bylaw 500.427, 2019 – Introduction

It was moved and seconded that the Board receive the Summary of the Public Information Meeting held on April 30, 2019.

Opposed (1): Director Craig

CARRIED

It was moved and seconded that the conditions set out in Attachment 2 of the staff report be completed prior to Amendment Bylaw No. 500.427 being considered for adoption.

Opposed (1): Director Craig

CARRIED

It was moved and seconded that "Regional District of Nanaimo Land Use and Subdivision Amendment Bylaw No. 500.427, 2019", be introduced and read two times.

Opposed (1): Director Craig

CARRIED

It was moved and seconded that the Public Hearing on "Regional District of Nanaimo Land Use and Subdivision Amendment Bylaw No. 500.427, 2019", be delegated to Director McLean.

Opposed (1): Director Craig

CARRIED

Zoning Amendment Application No. PL2018-121 - Fowler Road, Electoral Area H - Amendment Bylaw 500.424, 2019 – Introduction

It was moved and seconded that the Board receive the Summary of the Public Information Meeting held on February 21, 2019.

CARRIED UNANIMOUSLY

It was moved and seconded that the conditions set out in Attachment 2 of the staff report be completed prior to Amendment Bylaw No. 500.424, 2019 being considered for adoption.

CARRIED UNANIMOUSLY

It was moved and seconded that "Regional District of Nanaimo Land Use and Subdivision Amendment Bylaw No. 500.424, 2019", be introduced and read two times.

CARRIED UNANIMOUSLY

It was moved and seconded that the Public Hearing on "Regional District of Nanaimo Land Use and Subdivision Amendment Bylaw No. 500.424, 2019", be delegated to Director McLean or his alternate.

CARRIED UNANIMOUSLY

Zoning Amendment Application No. PL2015-084 - Angel Road, Electoral Area F - Amendment Bylaw 1285.32, 2019 – Introduction

It was moved and seconded that the Board receive the Summary of the Public Information Meeting held on July 12, 2018.

CARRIED UNANIMOUSLY

It was moved and seconded that the conditions set out in Attachment 2 of the staff report be completed prior to Amendment Bylaw No. 1285.32, 2019 being considered for adoption.

CARRIED UNANIMOUSLY

It was moved and seconded that “Regional District of Nanaimo Electoral Area ‘F’ Zoning and Subdivision Amendment Bylaw No. 1285.32, 2019” be introduced and read two times.

CARRIED UNANIMOUSLY

It was moved and seconded that the Public Hearing on “Regional District of Nanaimo Electoral Area ‘F’ Zoning and Subdivision Amendment Bylaw No. 1285.32, 2019”, be waived in accordance with Section 464(2) of the *Local Government Act*.

CARRIED UNANIMOUSLY

It was moved and seconded that staff be directed to proceed with notification in accordance with Section 467 of the *Local Government Act* of the Board’s intent to consider third reading of “Regional District of Nanaimo Electoral Area ‘F’ Zoning and Subdivision Amendment Bylaw No. 1285.32, 2019” at a regular Board meeting to be held on July 23, 2019.

CARRIED UNANIMOUSLY

EMERGENCY PREPAREDNESS

Emergency Support Services Update

It was moved and seconded that the Emergency Support Services Update be received for information.

CARRIED UNANIMOUSLY

NEW BUSINESS

Water Storage for Fire Fighting Purposes in Response to Development Referrals

It was moved and seconded that the Board direct staff to prepare a report on options to implement a consistent, coordinated, and equitable approach to respond to requests received from Fire Departments, in response to development referrals, for an applicant to install water storage tank(s) for firefighting purposes.

CARRIED UNANIMOUSLY

Directors' Roundtable

Directors provided updates to the Committee.

ADJOURNMENT

It was moved and seconded that the meeting be adjourned.

TIME: 2:22 PM

CHAIR

**REGIONAL DISTRICT OF NANAIMO
MINUTES OF ELECTORAL AREA 'A' PARKS, RECREATION AND CULTURE COMMISSION
MEETING**

**Wednesday, June 19, 2019
6:30 P.M.
Cedar Heritage Centre**

In Attendance:	Commissioner J. Fiddick Commissioner K. Wilson Commissioner B. White Commissioner L. Bury Commissioner M. Cawthorne	Deputy Chair Member at Large Member at Large Member at Large Member at Large
Regrets:	Director K. Wilson Commissioner L. Mann	Chair Member at Large
Also in Attendance:	H. King E. McCulloch A. Harvey	Superintendent of Recreation Program Services Park Planner Recording Secretary

CALL TO ORDER

The Chair called the meeting to order and respectfully acknowledged the Coast Salish Nation on whose traditional territory the meeting took place.

APPROVAL OF THE AGENDA

It was moved and seconded that the agenda be approved with the addition of Driftwood Stairs Parking and Access to Recreation Program Activities under New Business.

CARRIED UNANIMOUSLY

ADOPTION OF MINUTES

Electoral Area 'A' Parks, Recreation and Culture Commission Meeting - April 17, 2019

It was moved and seconded that the minutes of the Electoral Area 'A' Parks, Recreation and Culture Commission meeting held April 17, 2019, be adopted.

CARRIED UNANIMOUSLY

REPORTS

Inventory of Recreation Services Request for Statements of Qualifications

H. King gave a summary of the Inventory of Recreation Services Request for Statements of Qualifications Report.

It was moved and seconded that the Request for Statements of Qualifications be issued to conduct an inventory of existing recreation services, programs and facilities within Electoral Area A.

CARRIED UNANIMOUSLY

NEW BUSINESS

Driftwood Stairs Parking

The Commission discussed the Driftwood stairs area and the history of the parking needs. Commissioners requested that staff investigate improving parking at the Driftwood stairs and to add it as a future project workplan.

Access to Recreation Program Activities

Commissioner Bury heard from the South Wellington & Area Community Association who wanted to know how to find out what is happening with Area A programming and recreation programs and requested that recreational opportunities return. Staff noted that the Inventory of Recreation Services will show what is available in the area and from there a needs assessment could determine how more recreation could be provided. Commissioners suggested South Wellington & Area Community Association could come to a Commission meeting as at delegation or observer. Commissioner Bury would pass that message along to the association.

Commissioners discussed the options of funding different recreation activities such as disc golf in a park and a pump track at the skatepark.

COMMISSIONER ROUNDTABLE

Commissioners provided community updates to the Committee.

ADJOURNMENT

It was moved and seconded that the meeting be adjourned.

CARRIED UNANIMOUSLY

TIME: 7:55PM

CHAIR

**REGIONAL DISTRICT OF NANAIMO
MINUTES OF THE ELECTORAL AREA B PARKS AND OPEN SPACE ADVISORY
COMMITTEE MEETING**

**Monday, June 17, 2019
6:00 P.M.
Gabriola Arts Centre**

In Attendance:	Director V. Craig	Chair
	D. Kilbourn	Gabriola Recreation Society
	K. Clifford	Member at Large
	T. Gambrill	Member at Large
	C. McMahon	Member at Large
	T. Wojcik	Member at Large
Regrets:	R. Brockley	Member at Large
Also in Attendance:	E. McCulloch	RDN Parks Planner

CALL TO ORDER

The Chair called the meeting to order, welcomed the public and acknowledged the Coast Salish Nations on whose traditional territory the meeting took place.

APPROVAL OF THE AGENDA

It was moved and seconded that the agenda be approved with the following additions: under Delegations - Nick Doe RE: 707 Community Park signage Update and under Reports - Directors Report.

CARRIED UNANIMOUSLY

ADOPTION OF MINUTES

Electoral Area B Parks and Open Space Advisory Committee Meeting - February 4, 2019

It was moved and seconded that the minutes of the Electoral Area B Parks and Open Space Advisory Committee meeting held February 4, 2019 be adopted.

CARRIED UNANIMOUSLY

INVITED PRESENTATIONS

D. Kilbourne, Gabriola Recreation Commission

D. Kilbourn gave a presentation on behalf of the Gabriola Recreation Commission (GRS) providing an overview of the programs being offered, the Role of GRS, and long-range visioning for parks and recreation facilities.

R. Brockley, Gabriola and Area Land and Trails Trust

R. Brockley gave a presentation on behalf of the Gabriola and Area Land and Trails Trust (GaLTT) highlighting the ongoing projects including invasive species control, accessibility survey, conservation covenants, 707 Community Park signage, mapping project, trail building and maintenance, and community engagement.

DELEGATIONS

D. Walkley, McConvey Road Paving Society, RE: Request for Regional District of Nanaimo contribution towards McConvey Road Chip-sealing Upgrade Project

D. Walkley gave a presentation requesting an Regional District of Nanaimo Parks contribution towards chip-sealing McConvey Road. The Ministry of Transportation and Infrastructure (MoTI) has declined the group's request for them to chip-seal McConvey Road, therefore the group is collecting a \$4,500 contribution from each land owner along the road to have it privately paved (MoTI has provided permission for this). Two of the properties along the road are Regional District of Nanaimo Parks: Cox Community Park and Descanso Bay Regional Park.

N. Doe, re: 707 Community Park Signage

N. Doe gave a presentation highlighting his concern that the 707 Community Park property addition will impact the ecological integrity of the Coats Marsh ecosystem. He requests that the Regional District of Naniamo considers this impact when installing signs in the park land addition. He would like the signage plan to be developed through public consultation and input.

CORRESPONDENCE

It was moved and seconded that the following correspondence be received for information:

N. Doe, re: Coats Marsh Regional Park and the Potlatch Density Additions

R. Brockley, re: Gabriola Island, Coats Marsh Regional Park and 707 Community Park Additions

T. Cameron, Gabriola Resident, re: Improvements for Accessibility at Descanso Bay Regional Park

A. McLuckie, Gabriola Softball Association, re: Rollo McClay Sidewalk Upgrade

W. Boyte, Gabriola Resident, re: Disc Golf at 707 Community Park

L. Young, Gabriola Resident, re: Bell's Landing

CARRIED UNANIMOUSLY

REPORTS

Parks Update Report – January to March 2019

It was moved and seconded that the Parks Update Report – January to March 2019 be received as information.

CARRIED UNANIMOUSLY

5-year Project Plan - Electoral Area B Spring 2019

D. Kilbourn reported that the Gabriola Skatepark campaign signs are now outdated and should be replaced/removed.

It was moved and seconded that the 5-year Project Plan: 2020-2024 for Community Parks in Electoral Area B be approved with the addition of Rollo Park Management Plan to 2022, the addition of Disk Golf feasibility assessment to Additional Project Suggestions, and the transfer of Bells Landing Water Access Boat Launch Feasibility Study from 2022 to Additional Project Suggestions.

CARRIED UNANIMOUSLY

Directors Report

Director Craig provided a verbal report on the following:

The Regional District of Nanaimo Board approved terms of reference for a new Parks and Trails Strategic Plan. The strategic plan process will include examination and evaluation of parks services, creation of an implementation plan, clarification of goals and action items, development of a service model, and emphasis on financial sustainability. The process will involve consultation and engagement with the public, stakeholders, partners and other government agencies.

The Regional District of Nanaimo Board Strategic Plan for 2019-2022 has been approved. The Plan includes the board's vision, mission, and goals, and it will serve as the basis for directing policy and regulatory decisions as well as driving Regional District of Nanaimo staff in the delivery of plans, projects, and services. The vision is for the region is to protect natural assets, respect diverse communities, and enhance the well-being of all residents.

A Development Cost Charge (DCC) study for regional parkland acquisitions and improvements for community parks in five of the seven Electoral Areas has been initiated.

ADJOURNMENT

It was moved and seconded that the meeting be adjourned.

CARRIED UNANIMOUSLY

TIME: 8:25PM

CHAIR

REGIONAL DISTRICT OF NANAIMO**MINUTES OF THE EAST WELLINGTON / PLEASANT VALLEY PARKS AND OPEN SPACE
ADVISORY COMMITTEE MEETING**

**Monday, May 27, 2019
6:00 P.M.
East Wellington Fire Hall**

In Attendance:	Director M. Young	Chair
	S. Cameron	Member at Large
	D. Cawthorne	Member at Large
	B. Erickson	Member at Large
	R. Heikkila	Member at Large
	B. Lind	Member at Large
Also in Attendance:	C. Pinker	Alt. Director Electoral Area C
	R. Lussier	Park Planner

CALL TO ORDER

The Chair called the meeting to order and respectfully acknowledged the Coast Salish Nation on whose traditional territory the meeting took place.

APPROVAL OF THE AGENDA

B. Erikson was nominated to be Recording Secretary and he accepted.

Chair Young thanked S. Cameron and B. Lind for applying to the POSAC.

It was moved and seconded that the agenda be approved as presented.

CARRIED UNANIMOUSLY

ADOPTION OF MINUTES**East Wellington / Pleasant Valley Parks and Open Space Advisory Committee Meeting -
September 24, 2018**

It was moved and seconded that the minutes of the East Wellington / Pleasant Valley Parks and Open Space Advisory Committee meeting held September 24, 2018 be adopted.

CARRIED UNANIMOUSLY

REPORTS**Parks Update Report – January to March 2019**

It was moved and seconded that the Parks Update Report – January to March 2019 be received as information.

CARRIED UNANIMOUSLY

5-year Project Plan – Electoral Area C-EW/PV

It was moved and seconded that the 5-year Project Plan: 2020-2024 for Community Parks in Electoral Area C-EW/PV be approved.

CARRIED UNANIMOUSLY

NEW BUSINESS

Meadow Drive Community Park

An application to the Agricultural Land Commission (ALC) to construct a gravel parking lot at Anders & Dorrits Community Park was not approved. Staff have appealed this decision and are currently awaiting a response.

The Committee discussed that consideration be given to move Meadow Drive Community Park Forest Trail Development planning and development to a higher priority in the 5-year Project Plan: 2020-2024 should the ALC not approve the development plans at Anders & Dorrits Community Park. Staff will review what plans have already been completed for Meadow Drive Community Park Forest Trail Development to potentially recommend that this project's priority be raised pending the outcome of the appeal process.

ADJOURNMENT

It was moved and seconded that the meeting be adjourned.

CARRIED UNANIMOUSLY

TIME: 7:45pm

CHAIR

**REGIONAL DISTRICT OF NANAIMO
MINUTES OF THE NANOOSE BAY PARKS AND OPEN SPACE ADVISORY COMMITTEE
MEETING**

**Wednesday, June 12, 2019
6:30 P.M.
Nanoose Place**

In Attendance:	Director B. Rogers	Chair
	M. Caskey	Member at Large
	V. Swan	Member at Large
	H. Dahn	Member at Large
	J. Ringwald	Member at Large
Regrets:	D. Mitchell	Member at Large
Also in Attendance:	E. McCulloch	Park Planner

CALL TO ORDER

The Chair called the meeting to order, welcomed the public, and respectfully acknowledged the Coast Salish Nations on whose traditional territory the meeting took place.

APPROVAL OF THE AGENDA

Park Planner E. McCulloch was introduced as she is filling in for K. Cramer in her absence.

It was moved and seconded that the agenda be approved with the addition of Directors Report under Reports.

CARRIED UNANIMOUSLY

ADOPTION OF MINUTES

Nanoose Bay Parks and Open Space Advisory Committee Meeting - February 6, 2019

It was moved and seconded that the minutes of the Nanoose Bay Parks and Open Space Advisory Committee meeting held February 6, 2019, be adopted.

CARRIED UNANIMOUSLY

REPORTS

Parks Update Report – January to March 2019

The Nanoose Road Community Park Dog Park is open.

It was noted that POSAC members did not receive an invitation to the Jack Bagley Open House, which took place on June 11, 2019. The Open House organizer will be contacted and asked to arrange for POSAC members to view the three Bagley Park development options and provide input. It was requested that the Jack Bagley Community Park community consultation report be shared with Committee members once complete.

It was moved and seconded that the Parks Update Report – January to March 2019 be received as information.

CARRIED UNANIMOUSLY

5-year Project Plan - Electoral Area E Spring 2019

It was moved and seconded that the 5-year Project Plan: 2020-2024 for Community Parks in Electoral Area E be approved with the addition of 2020 beach access signage and 2020 Nanoose Road Community Park signage.

CARRIED UNANIMOUSLY

Director's Report

Director Rogers provided a verbal report.

The Oceanside Services Committee had their first meeting. The Committee replaces the Northern Community Economic Development Committee, the District 69 Community Justice Select Committee and the D69 Recreation Commission.

The RDN Board approved terms of reference for a new Parks and Trails Strategic Plan. The strategic plan process will include examination and evaluation of parks services, creation of an implementation plan, clarification of goals and action items, development of a service model, and emphasis on financial sustainability. The process will involve consultation and engagement with the public, stakeholders, partners and other government agencies.

The RDN Board Strategic Plan for 2019-2022 has been approved. The Plan includes the board's vision, mission, and goals, and it will serve as the basis for directing policy and regulatory decisions as well as driving RDN staff in the delivery of plans, projects, and services. The vision for the region is to protect natural assets, respect diverse communities, and enhance the well-being of all residents.

A Development Cost Charge (DCC) study for regional parkland acquisitions and improvements for community parks in five of the seven Electoral Areas has been initiated.

Director Rogers attended the Federation of Canadian Municipalities Conference in Quebec City. He was able to network with peers from other BC regional districts and counties from across Canada. All federal political parties addressed the conference.

ADJOURNMENT

It was moved and seconded that the meeting be adjourned.

CARRIED UNANIMOUSLY

TIME: 8:35PM

CHAIR

**REGIONAL DISTRICT OF NANAIMO
MINUTES OF THE ELECTORAL AREA H PARKS AND OPEN SPACE ADVISORY
COMMITTEE MEETING**

**Monday, June 24, 2019
7:00 P.M.
Lighthouse Community Centre**

In Attendance:	Director S. McLean	Chair
	N. Robertson	Member at Large
	J. Chesley	Member at Large
	L. Acosta	Member at Large
Regrets:	C. Browne	Member at Large
Also in Attendance:	E. McCulloch	RDN Park Planner

CALL TO ORDER

The Chair called the meeting to order, welcomed the public, and respectfully acknowledged the Coast Salish Nations on whose traditional territory the meeting took place.

APPROVAL OF THE AGENDA

It was moved and seconded that the agenda be approved as presented.

CARRIED UNANIMOUSLY

ADOPTION OF MINUTES

Electoral Area H Parks and Open Space Advisory Committee Meeting - February 25, 2019

It was moved and seconded that the minutes of the Electoral Area H Parks and Open Space Advisory Committee meeting held February 25, 2019, be adopted.

CARRIED UNANIMOUSLY

DELEGATIONS

There were several individuals from the Community present at the meeting; the Committee Chair opened the floor to community remarks. There were a variety of comments, suggestions, recommendations, and requests including the following:

- Maps of local trails requested. The group was informed that the Salish Sea Market sells local trail maps developed by volunteers with support from the Regional District of Nanaimo.
- More support and Maintenance of local parks in the Deep Bay area is needed.
- Questions regarding the use and development of the train tracks.

- Desire for more funding for local parks and trails.
- Individuals can develop trails on undeveloped roads, managed by the Ministry of Transportation, as long as they do not install structures, fell trees, or use heavy machinery.

REPORTS

Parks Update Report – January to March 2019

E. McCulloch reported that the Dunsmuir Planting Party was a successful community event - 260 plants were installed and mulched, a drop-in pickle-ball group organized, and an all-around great opportunity for community members to meet one another. It was also reported that beach access signs had been put in place.

It was moved and seconded that the Parks Update Report – January to March 2019 be received as information.

CARRIED UNANIMOUSLY

5-year Project Plan - Electoral Area H Spring 2019

It was moved and seconded that the 5-year Project Plan: 2020-2024 for Community Parks in Electoral Area H be approved.

CARRIED UNANIMOUSLY

NEW BUSINESS

PL2018-164 & PL2019-074 Subdivision and Park Land Dedication

The committee recommends that the proposed park land dedication in conjunction with subdivision application PL2018-164 & PL2019-074 not be accepted and that park land dedication based on the original parent parcel be considered when the remainder of the parcel is developed. Alternatively, that cash-in-lieu of park land be accepted for phase 1 and 2 and additional park land dedication be considered at the time of development of the remainder parcel.

ADJOURNMENT

It was moved and seconded that the meeting be adjourned.

CARRIED UNANIMOUSLY

TIME: 9:15PM

CHAIR

TO: Electoral Area 'A' Parks, Recreation and Culture Commission **MEETING:** June 19, 2019

FROM: Hannah King
Superintendent Recreation Program Services

Subject: Request for Statements of Qualifications Inventory of Recreation Services in Electoral Area A

RECOMMENDATION

That the Request for Statements of Qualifications be issued to conduct an inventory of existing recreation services, programs and facilities within Electoral Area A.

SUMMARY

The intent of the Request for Statements of Qualifications (RFSQ) is to fulfill a recommendation made by the Electoral Area A Parks Recreation and Culture Commission (PRCC) in April 2019 for an inventory of existing recreation programs, services and facilities within the electoral area to be completed. This inventory will provide the Commission and the RDN Board information on the current recreation programs, services and community facilities in Electoral Area A.

BACKGROUND

At the April 2019 the Electoral Area A PRCC meeting the Commission made a recommendation that current recreation program opportunities, services and recreation facilities in the community be identified. On May 28, 2019 the RDN Board supported the recommendation with the following resolution:

That staff provide a draft Terms of Reference document to guide a Recreation Needs Assessment within Electoral Area A to the Electoral Area A Parks, Recreation and Culture Commission for review at the June 2019 meeting.

A RFSQ that would be used to secure a consulting firm to undertake the work has been prepared.

The retained consulting firm will complete a comprehensive inventory of existing recreation programs, services and community facilities within Electoral Area A.

ALTERNATIVES

1. That the Request for Statements of Qualifications be issued to conduct an inventory of existing recreation services, programs and facilities within Electoral Area A.
2. That alternate direction be provided to staff.

FINANCIAL IMPLICATIONS

While the issuance of a RFSQ does not have any financial implications, the intention is to enter into a services contract with a proponent. Based on experience staff estimate the cost of carrying out the work identified in the RFSQ to be between ten (\$10,000) and twelve thousand dollars (\$12,000).

The 2019 Electoral Area A Financial Plan has a current balance of \$94,113 for professional fees that would fund the work outlined in the RFSQ.

STRATEGIC PLAN IMPLICATIONS

Focus On Service And Organizational Excellence - We Recognize Community Mobility And Recreational Amenities As Core Services



Hannah King
Superintendent, Recreation Program Services
June 3, 2019

Reviewed by:

- D. Banman Manager, Recreation Services
- T. Osborne General Manager, Recreation and Parks
- P. Carlyle, Chief Administrative Officer

Attachment

1. Electoral Area A - Inventory of Recreation Services and Facilities RFSQ

REQUEST FOR STATEMENTS OF QUALIFICATIONS (RFSQ)

DATE: June 2019

Project: Electoral Area A Recreation Services Inventory

The Regional District of Nanaimo invites qualified and experienced firms to submit Statements of Qualifications to conduct an inventory of recreation facilities, services and programs within the RDN's Electoral Area A (Cassidy, South Wellington, Cedar, Yellowpoint). Compiling the inventory via community consultation and independent research are within the project scope.

A. Intent

This Request for Statements of Qualifications (RFSQ) is issued to determine the most qualified and experienced service provider that can meet the Regional District of Nanaimo's requirements, expectations, and timeline.

The Regional District of Nanaimo will review submissions received in response to this RFSQ and enter into discussions with the top-ranked Respondent to negotiate the terms, scope, timeline and cost based on the actual scope of work required (the Work). Should these negotiations fail to result in a contract for the Work, the Regional District of Nanaimo may then elect to negotiate with the next highest ranked service provider.

In any event, the Regional District of Nanaimo shall not be bound to enter into a contract with any Respondent to this RFSQ and, at its sole discretion, may elect to collapse this process.

B. Background

The last Recreation Master Plan completed for Electoral Area A was in 2007. The Electoral Area A Parks, Recreation and Culture Commission was formed in 2009. The purpose of the Commission is to provide recommendations and advice to staff and the Regional District of Nanaimo Board regarding community parks, and recreation and culture services and issues in Electoral Area A.

Between 2010 and 2012 the Regional District of Nanaimo provided recreation programming in the community with a RDN recreation programmer. In 2012 the RDN Board decided to no longer provide direct recreation services. Prior to, and since 2012 recreation services are available within the community by community based interest groups.

A focus of the Commission in recent years has been exploring options for the establishment of a recreation facility. To date no suitable location or facility has been found. Community recreation programs are hosted in existing community spaces such as; Cedar Heritage Centre, Cedar Community Hall, Wheatsheaf Sports Complex, school facilities, local churches and privately operated spaces.

Cedar Secondary School is currently designated as a Community School and as such maintains a Community School Coordinator position. The role of this position has shifted in recent years from offering community programs for all ages to only programming for school age residents. Nanaimo Ladysmith Public Schools District 68 is currently reviewing the future role of Community Schools within the District. The outcome of this review may have implications on the future provision of recreation services in the electoral area.

At the April 2019 meeting, the Area A Parks, Recreation and Culture Commission requested that an inventory in regards to recreation services be conducted to inform future needs assessment discussions.

C. Contemplated Scope of Work and Timeline

Anticipated Scope of Work Includes:

- Completion of a comprehensive inventory of existing recreation programs, services and community facilities within Electoral Area A which may include; surveys, community meetings, interviews with community groups currently providing recreation services, and stakeholder group meetings.
- Community consultation which may include surveys and interviews with community groups currently providing recreation services and facilities.

Contemplated Deliverables:

- Inventory report of recreation service, programs and community facilities.

Timeline: Approximately 3 months, with project completion October 2019

D. Statement of Qualifications and Evaluation

The statement of qualifications should be no longer than five (5) pages in length (not including cover page, cover letter and appendices), and should be submitted electronically in pdf format to: hking@rdn.bc.ca. Please include the following:

- Qualifications and areas expertise of the Firm. Please note any local knowledge / experience.

- Experience of Firm and nominated Project Manager with previous relevant work. Provide short descriptions of similar projects and assignments completed by both the Firm and nominated Project Manager.
- A statement of your firm's ability to complete the work within the timeframe described.

Statements of Qualifications (the "SOQ") will be evaluated by the Regional District of Nanaimo. Any or all SOQs will not necessarily be accepted. Evaluation criteria and relevant weightings are:

- Qualifications of Firm and Project Manager including areas of expertise – 40%
- Experience of Firm and Project Manager in similar assignments – 40%;
- Ability to meet the Regional District of Nanaimo's timeline – 20%

E. Submissions

Statements of Qualifications should be received by 3:00:00 p.m. local time on the [] day of [], 20[]. The RDN reserves the right to accept late submissions.

F. Inquiries

Submissions and queries shall be directed to:

Hannah King, Superintendent Recreation Program Services
 Telephone: 250 248 3252
 Email: hking@rdn.bc.ca

TO: Electoral Area B Parks and Open Space Advisory Committee **MEETING:** June 17, 2019

FROM: Elaine McCulloch
Parks Planner

Subject: 5-year Project Plan - Electoral Area B Spring 2019

RECOMMENDATION

Please note: The recommendation was varied by the Committee as follows:

That the 5-year Project Plan: 2020-2024 for Community Parks in Electoral Area B be approved with the addition of Rollo Park Management Plan to 2022, the addition of Disk Golf feasibility assessment to Additional Project Suggestions, and the transfer of Bells Landing Water Access Boat Launch Feasibility Study from 2022 to Additional Project Suggestions.

That the 5-year Project Plan: 2020-2024 for Community Parks in Electoral Area B be approved.

SUMMARY

The 5-year Project Plan: 2020-2024 outlines the Community Parks projects identified for the Electoral Area and will guide the development of workplans and the capital plan.

BACKGROUND

The 5-year Project Plan: 2020-2024 outlines the Community Parks projects identified for the Electoral Area. Projects are ranked by priority, high to low. Suggestions come from the Parks and Open Space Advisory Committee (POSAC), the Electoral Area Director, and applicable Plans. The project list is reviewed every year to ensure that new priorities are captured.

ALTERNATIVES

1. That the 5-year Project Plan: 2020-2024 for Community Parks in Electoral Area B be approved.
2. That alternative direction be provided.

FINANCIAL IMPLICATIONS

Electoral Area B Community Park projects planned for next year will be considered as part of the 2020 budget process. Project budget guidelines are provided on the attached 5-year Project Plan: 2020-2024 EA B along with the funding sources, if known and/or currently available.

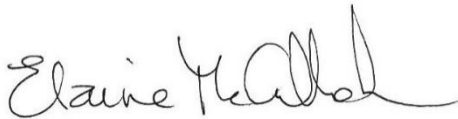
The available funding sources for Community Parks are the Area B Community Parks Budget and the Area B Reserve Fund. The Cash-in-Lieu Reserve Fund can only be used to purchase park land. Community Works Funds can also be used when available. Current budget availability for Electoral Area B is:

EA B Reserve Fund	\$57,697
EA B Cash-in-Lieu Reserve Fund	\$0

The Community Parks Budget is reviewed annually by the Regional Board and funding priorities are set with consideration of input and recommendations from the Electoral Area B POSAC.

STRATEGIC PLAN IMPLICATIONS

Focus On Service And Organizational Excellence - We Recognize Community Mobility And Recreational Amenities As Core Services



Elaine McCulloch
emcculloch@rdn.bc.ca
May 21, 2019

Reviewed by:

- W. Marshall, Manager, Parks Services
- T. Osborne, General Manager, Recreation and Parks
- G. Garbutt, Acting Chief Administrative Officer

Attachments

1. 5-year Project Plan EA B 2020-2024_spring 2019

5-year Project Plan: 2020-2024 for Community Parks in Electoral Area B

PLANNING WORKSHEET

for review at the June 17, 2019 POSAC meeting

Note: This worksheet is provided for planning purposes only and is subject to change to accommodate other Board directives, funding constraints, and staff resources.

* Operational Item

Reserve Fund: \$57,697

Cash-in -Lieu Reserve Fund: \$0

As of May 2019

		Approved Budget 2019	Funding Source	Origin
Current Year Projects (2019)				
2019	Huxley CP: Gabriola Skatepark construction drawings (inc.survey, geotech)	\$75,000	CW Funds, (carried forward from 2018)	May 22, 2018 Board
2019	Huxley CP: electrical assessment	\$10,000	CP Operational Budget, 2018 & 2019 (carry forward)	
2019	Huxley CP: grant applications	\$0	staff time	Jan 8, 2019 Board
2019	Huxley CP: sports court line painting	\$10,000	CW Funds, (carried forward from 2018)	May 22, 2018 Board
2019	Joyce Lockwood CP: land use agreement for public beach access	\$0	staff time	Dec 4, 2018 Board
2019	Whalebone CPs: signage plan & installation pilot study	\$2,000	CP Operational Budget	July 24, 2018 Board
2019	Village Way Path: design modifications as per MoTI requirements	TBD	CW Funds	
2019	707 CP: directional signage review and install	\$5,000	CP Operational Budget, 2019	
2019	Property Acquisition, In Camera	\$0	staff time	In Camera
2019-20	Dodd Narrows CP: master plan	\$5,000	CP Operational Budget, 2019	
2019/20	Cox CP property addition: basic property assessment & security/safety improvements*	\$15,000	CP Operational Budget, 2019 - contingent on property acquisition	
2019	Cox CP: maps for trail signs (work with GaLTT)*	\$0	staff / volunteer time	
2019	Joyce Lockwood CP: stair removal & trail improvements*	\$13,000	CP Operational Budget, 2019	Dec 4, 2018 Board
2019	Spring Beach water access: stair replacement feasibility assessment/design*	\$0	TBD	
2019	DeCourcy Dr Water Access #2: stair replacement*	\$15,000	CP Operational Budget, 2019	
2019	Rollo McClay CP: Field upgrades - repairs, aeration, fertilizer, seeding*	\$18,000	South Community Recreation Budget 2019	
2019	Rollo McClay CP: Decommission well and upgrade storage capacity for trucked water*	\$8,000	South Community Recreation Budget 2020	
		Estimated Cost	Proposed Funding Source	Origin
High Priority Projects (2020)				
2020	Rollo-McClay CP: washroom accessibility assessment	TBD	CP Operational Budget, 2019	
2020	Spring Beach Water Access: stair replacement (if decide to proceed)	TBD	TBD	
2020	Village Way Path: construction	TBD	CW Funds	
2020	Huxley CP: Phase 2 or Phase 2/3 tender & construction (skatepark/park entrance/parking lot)	TBD	CW Funds; CP Capital Reserves; community contribution; potential grant funding	
2020	Rollo-McClay CP: entrance sign replacement	TBD	CP Operational Budget, 2020	
2020	Whalebone Parks: signage install	TBD	CP Operational Budget, 2020	
2020	Rollo-McClay CP: portable (GRS storage), structural assessment/repairs	TBD		operations inspection, fall 2018
2020	Geotech review - South Rd Stairs, Bluewhale, QueeQueg	TBD		operations, planned inspections

Medium Priority Projects (2021-2022)				
2021	707 CP: management plan update	TBD	CP Operational Budget, 2021	
2021	Huxley CP: Phase 3 construction drawings (tennis court renovation, storage buildings, bleachers)	TBD	CP Operational Budget, 2021	
2021	Huxley CP: Area B park info kiosk	TBD	CP Operational Budget, 2021	
2021	<i>Bluewhale, QueeQueg, landing replacements*</i>	TBD	CP Operational Budget, 2021	<i>operations, planned repairs</i>
2022	Bells Landing Water Access: boat launch feasibility study	TBD	CP Operational Budget, 2021	January 23, 2017
2022	Dog Off Leash Park: feasibility planning/public consultation	TBD	CP Operational Budget, 2021	delayed until Cox CP addition, Jan 23, 2018 Board

Low Priority Projects (2023- 2024)				
	Huxley CP: Phase 3 grant applications (tennis court reno, storage buildings, bleachers)	TBD	staff time	
	Huxley CP: Phase 3 construction (tennis court reno, storage buildings, bleachers)	TBD	TBD	
	Cox CP: management plan	TBD	CP Operational Budget, 2023	pending Cox CP addition
	Cox CP: property addition development	TBD	TBD	July 2017, POSAC
	707 CP: property addition development	TBD	TBD	

Additional Project Suggestions				
	Gabriola Water Access Development			
	Shaw Rd Water Access: MoTI permit, stair construction, signage			
	Eastholme Rd. Water Access: MoTI permit, survey, bench, signage			
	Rowan Rd. Water Access: MoTI permit, survey, trail development, signage			
	Ivory Way Water Access: benches, small pking area/turnaround, signage		staff time	
	Sir Williams/Saint Catherine's Water Access: trail/bench			
	Mudge Water Access Development			
	MI-14 & MI-18 - trail access to shore, off-road parking, signage		Priority #2 & #3	
	Mudge Island Community Park improvements		Priority #4	
	MI-21, MI-22, MI-26, MI-27 viewpoint development (inc bench, signage)		Priority #5	
	survey & sign remaining water accesses.		Priority #6	
	Trail Development			
	Support GaLTT to develop mobility accessible loop trail			June 2, 2015 POSAC
	Park Development			
	707 CP: parcel consolidation		staff time	
	707 CP: develop parking area - North Rd.			
	707 CP: develop parking area - Coats Dr.			
	707 CP: conservation covenant		staff time	

Completed Projects		Cost		
2018	Huxley CP: picnic table install	\$4,000	CP Operational Budget, 2019	
2018	Rollo McClay CP: batting cage (work with GSA)	\$0	request rescinded by GSA	May 24, 2016 Board
2018	Whalebone Parks: trail upgrades	\$11,000	CP Operational Budget, 2018	
2018	Pilot Bay CP: bench & sign install	\$1,000	CP Operational Budget, 2018 / volunteer time	
2018	Cox CP: trail construction (work with GaLTT)	\$0	staff / volunteer time	April 9, 2018 POSAC
2018	707 CP: gate, drainage, road repairs	\$11,000	CP Operational Budget, 2018	
2018	Huxley CP: Phase 1 official opening	\$500	CP Operational Budget, 2018	
2018	Huxley CP: benches, wind screens, other general maintenance	\$3,000	CP Operational Budget, 2018	
2017	Gabriola Skatepark - Concept Plan	\$12,000		
2017	Huxley CP: Playground construction (Phase 1 & Phase 2)	\$226,125	(\$13,200 donations & grants, \$212,925 CWF)	
2017	Huxley CP: tennis court resurfacing & sports court perimeter board replacement	\$148,410	(\$80,000 donations/grants; \$12,500 CWF; \$40,500 CP Reserve; \$15,500 CP Op 2017)	
2017	Cox Community park - entrance sign & benches	\$5,000		
2017	707 CP: Old Centre Rd trail brushing	\$9,000		
2017	Whalebone Parks trail improvements - trail upgrades, signage	\$20,000		
2017	Whalebone Parks Water Access improvements - Queequeg, Bluewhale, Joyce Lockwood	\$25,000		
2017	Islands Trust Bylaw Referral 289/290 Response (Potlatch)			
2017	Pilot Bay CP: trail construction (worked with GaLTT)	\$0	staff / volunteer time	
2016	Dodd Narrows CP Land Purchase			
2016	Joyce Lockwood CP: toilet & surround			
2016	Bells Landing Water Access: gravel surfacing			
2016	Huxley Park Playground & Sports Courts: grant writing			
2016	Whalebone parks improvements - survey work, directional and regulatory signage			
2016	Mudge Island Water Access - boundary identification (MI-21, MI-22, MI-26)			
2015	Rollo McClay CP: parking lot improvements			
2015	Rollo McClay CP: playground installation			
2015	Joyce Lockwood CP: lease renewal			
2015	Honeysuckle Trail - work with GaLTT & MoTI on trail permit & development			
2015	Mudge Island Water Access Identification: MI-05, MI-18, MI-20, MI-23, MI-27, MI-15			
2014	Rollo McClay CP: Water Reservoir Upgrades			
2014	Whalebone CP's: clean-up & reclaim entrances			
2014	707 CP: gate installation (South Road)			
2014	707 CP: bank stabilization at 880 Christine Close			
2014	Huxley CP: community consultation & park concept design			

TO: Electoral Area 'C' Parks and Open Space Advisory Committee **MEETING:** May 27, 2019

FROM: Renée Lussier
Parks Planner

SUBJECT: 5-year Project Plan – Electoral Area C-EW/PV

RECOMMENDATION

That the 5-year Project Plan: 2020-2024 for Community Parks in Electoral Area C-EW/PV be approved.

SUMMARY

The 5-year Project Plan: 2020-2024 outlines the Community Parks projects identified for the Electoral Area and will guide the development of workplans and the capital plan.

BACKGROUND

The 5-year Project Plan: 2020-2024 outlines the Community Parks projects identified for the Electoral Area. Projects are ranked by priority, high to low. Suggestions come from the Parks and Open Space Advisory Committee (POSAC), the Electoral Area Director, and applicable Plans. The project list is reviewed every year to ensure that new priorities are captured.

ALTERNATIVES

1. That the 5-year Project Plan: 2020-2024 for Community Parks in Electoral Area C-EW/PV be approved.
2. That alternative direction be provided.

FINANCIAL IMPLICATIONS

Electoral Area C-EW/PV Community Park projects planned for next year will be considered as part of the 2020 budget process. Project budget guidelines are provided on the attached 5-year Project Plan: 2020-2024 EA C-EW/PV along with the funding sources, if known and/or currently available.

The available funding sources for Community Parks are the Area C-EW/PV Community Parks Budget and the Area C-EW/PV Reserve Fund. The Cash-in-Lieu Reserve Fund can only be used to purchase park land. Community Works Funds can also be used when available. Current budget availability for Electoral Area C-EW/PV is:

EA C-EW/PV Reserve Fund	\$170,965
EA C-EW/PV Cash-in-Lieu Reserve Fund	\$39,718

The Community Parks Budget is reviewed annually by the Regional Board and funding priorities are set with consideration of input and recommendations from the Electoral Area C-EW/PV POSAC.

STRATEGIC PLAN IMPLICATIONS

Focus On Service And Organizational Excellence - We Recognize Community Mobility And Recreational Amenities As Core Services



Renée Lussier
rlussier@rdn.bc.ca
May 9, 2019

Reviewed by:

- W. Marshall, Manager, Parks Services
- T. Osborne, General Manager, Recreation and Parks
- P. Carlyle, Chief Administrative Officer

Attachments

1. 5-year Project Plan 2020-2024 EA C-EW-PV_spring 2019

RDN Electoral Area C-EW/PV Community Parks

5-Year Project Planning: 2020-2024

PLANNING WORKSHEET DRAFT

for review at the May 2019 POSAC meeting

Reserve Fund: \$170,965

Cash-in-Lieu Reserve Fund: \$39,718

As of May 2019

This worksheet is provided for planning purposes only and is subject to change to accommodate other Board directives, funding constraints and staff resources.

		Estimated Cost	Budget Notes	Origin
Current Year Projects (2019)				
2019	Anders & Dorrits CP: Detailed Design and ALC approval	\$25,000		
2019	Anders & Dorrits CP: seek grant funding	staff time		
2019	Park sign pilot project (at Anders & Dorrits CP)	\$2,000		EASC
High Priority Projects (2020-2021)				
2020	Anders & Dorrits CP: phase 1 park development	TBD		
2021	Anders & Dorrits CP: phase 2 park development	TBD		
2021	Meadow Drive CP: forest trail planning	TBD		POSAC
Medium Priority Projects (2022-2023)				
2022	Meadow Drive CP: forest trail development	TBD		
2023	Creekside CP: explore trail connection opportunity within park	TBD		
Low Priority Projects (2024-)				
2024	Jinglepot Roadside trail OR Creekside Roadside trail	TBD		
Additional Project Suggestions				
	Jinglepot Roadside trail			
	Creekside Roadside trail			
Completed Projects		Notes		

TO: Electoral Area 'E' Parks and Open Space Advisory Committee **MEETING:** June 12, 2019

FROM: Elaine McCulloch **FILE:**
Parks Planner

Subject: 5-year Project Plan - Electoral Area E Spring 2019

RECOMMENDATION

Please note: The recommendation was varied by the Committee as follows:

That the 5-year Project Plan: 2020-2024 for Community Parks in Electoral Area E be approved with the addition of 2020 beach access signage and 2020 Nanoose Road Community Park signage.

That the 5-year Project Plan: 2020-2024 for Community Parks in Electoral Area E be approved.

SUMMARY

The 5-year Project Plan: 2020-2024 outlines the Community Parks projects identified for the Electoral Area. Projects are ranked by priority, high to low. Suggestions come from the Parks and Open Space Advisory Committee (POSAC), the Electoral Area Director, and applicable Plans. The project list is reviewed every year to ensure that new priorities are captured.

BACKGROUND

The 5-year Project Plan: 2020-2024 outlines the Community Parks projects identified for the Electoral Area. Projects are ranked by priority, high to low. Suggestions come from the Parks and Open Space Advisory Committee (POSAC), the Electoral Area Director, and applicable Plans. The project list is reviewed every year to ensure that new priorities are captured.

ALTERNATIVES

1. That the 5-year Project Plan: 2020-2024 for Community Parks in Electoral Area E be approved.
2. That alternative direction be provided.

FINANCIAL IMPLICATIONS

Electoral Area E Community Park projects planned for next year will be considered as part of the 2020 budget process. Project budget guidelines are provided on the attached 5-year Project Plan: 2020-2024 EA E along with the funding sources, if known and/or currently available.

The available funding sources for Community Parks are the Area E Community Parks Budget and the Area E Reserve Fund. The Cash-in-Lieu Reserve Fund can only be used to purchase park land. Community Works Funds can also be used when available. Current budget availability for Electoral Area E is:

EA E Reserve Fund	\$166,730
EA E Cash-in-Lieu Reserve Fund	\$86,955

The Community Parks Budget is reviewed annually by the Regional Board and funding priorities are set with consideration of input and recommendations from the Electoral Area E POSAC.

STRATEGIC PLAN IMPLICATIONS

Focus On Service And Organizational Excellence - We Recognize Community Mobility And Recreational Amenities As Core Services



Elaine McCulloch
emcculloch@rdn.bc.ca
May 21, 2019

Reviewed by:

- W. Marshall, Manager, Parks Services
- T. Osborne, General Manager, Recreation and Parks
- G. Garbutt, Acting Chief Administrative Officer

Attachments

1. 5-year Project Plan EA E 2020-2024_spring 2019

RDN Electoral Area E Community Parks

5-Year Project Planning: 2020-2024

PLANNING WORKSHEET

Reserve Fund: \$116,730

Cash-in -Lieu Reserve Fund: \$86,955

As of May 2019

for review at the June 12, 2019 POSAC meeting

This worksheet is provided for planning purposes only and is subject to change to accommodate other Board directives, funding constraints and staff resources.

Estimated Costs illustrated in italics refer to Order of Magnitude Costs and are not based on an official estimate.

		Approved Budget 2019	Funding Source	Origin
Current Year Projects (2019)				
2019	Natural Playground: public consultation, detailed design and approvals (MOTI, RDN)	\$50,000	CW Funds 2019; staff time; consultant	POSAC delegation
2019/2020	Stone Lake Dr CP: Natural Playground development		CW Funds 2019; staff time; consultant and construction fees	
2019	Jack Bagley CP: RFSQ for consultation and prelim. design of multi-sport site	staff time	staff time	POSAC delegation
2019	Jack Bagley CP: Contract for consultation, prelim. design & costing	\$30,000	CW Funds 2019; consultant fees; staff time	POSAC delegation
2019	Jack Bagley CP: approvals, project coordination	staff time	staff time	POSAC delegation
2019	Beach Access signage assessment and plan	staff time	staff time	Beach Access Study
2019	Beach Access signage MOTI permits and installation	\$1,000	CP Operational Budget 2019; staff time	
2019	Nanoose Road CP: dog park install	\$5,000	staff time; CP Operational Budget 2020 for survey and studies	POSAC

		Estimated Cost	Proposed Funding Source	Origin
High Priority Projects (2020)				
2020	Jack Bagley CP: Site development (possibly phased e.g.racquetball sport court)	TBD	order of magnitude cost estimate; cost to be determined through planning/design process	
2020	Park signs pilot project - design and install (Es-hw Sme~nts CP selected)	\$5,000	staff time; graphic artist, photographer; CP Operational Budget 2019	EASC, POSAC
2020	Nanoose Road CP: evaluation of land ownership options	staff time	Crown lease renewal in 2020; explore option to acquire	

Medium Priority Projects (2021-2022)				
2021	Jack Bagley CP: Phase 2 site development (if not done all at once)	TBD	order of magnitude cost estimate; cost to be determined through planning/design process	
2021	Bonnington-Coventry Community Trail design	TBD	staff time; consultants - survey, geotech, stair design	POSAC delegation
2021	Bonnington-Coventry Community Trail development	TBD	contactor fees (site prep, stairs and trail work)	
2021	Teds Road Beach Access: site planning and consultation for stairs to beach	TBD	survey, studies, stair design: CP Operational Budget 2021	Beach Access Study
2022	Teds Road Beach Access: site development	TBD	stair and trail tender and construction	Beach Access Study
2022	Rowland Place CP: site planning and consultation (picnic area, FN interpretation, etc.)	TBD	survey, studies, graphic design: CP Operational Budget 2022	CPTS
2022	Beach Access trail planning (location(s) TBD as per Beach Access Study)	TBD	survey, studies: CP Operational Budget 2022	Beach Access Study

Low Priority Projects (2023-2024)				
	Rowland Place CP: site development	TBD	order of magnitude cost estimate; cost to be determined through planning/design process	
	Claudet Road CP: prepare master plan for future park use and development	TBD	consultant fees: consultation and conceptual layout options	POSAC, Oct. 3 2018
	Beach Access Trail development	TBD	(priority as determined in 2022)	
	Trail from Northwest Bay Rd to Schirra Drive along undeveloped Nanoose Rd ROW	TBD		
	Davenham Community Trail planning	TBD		CPTS
	Brickyard CP: parking and toilet considerations	TBD	<i>moved to low priority as per POSAC motion</i>	POSAC motion

Additional Project Suggestions				
	Investigate parkland expansion in Beachcomber area			CPTS
	Prepare park plan for Rowland, Northwest Bay/Stone Lake, Collins Crescent			CPTS
	Prepare park plan for Davenham Rd to Sea Ridge CP			CPTS
	Regional Trail plan between Moorecroft and Fairwinds			CPTS
	Upgrade Wall Estate CP trailhead and trails			CPTS
	Install directional signs at Dolphin Lake and CP			CPTS
	Roadside Trails: investigate trail development adjacent to major Nanoose Rds			CPTS

Completed Projects		Cost		
2015	Claudet Road CP	\$97,342	cost: \$97,342 CW Funds	
2017	Blueback CP	\$153,932	cost: \$153,932 (\$105,000 from Area E reserves; \$50,000 from Community Works funding)	
2017	Es-hw Sme~nts CP	\$38,970	cost: \$38,970 (CW Funds; CP Operational Budget)	
2018	Area E Beach Access Inventory (road ends) by POSAC Sub-Committee	staff time	POSAC sub-committee, staff time	POSAC

TO: Electoral Area 'H' Parks and Open Space Advisory Committee **MEETING:** June 10, 2019

FROM: Elaine McCulloch
Parks Planner

FILE:

Subject: 5-year Project Plan - Electoral Area H Spring 2019

RECOMMENDATION

That the 5-year Project Plan: 2020-2024 for Community Parks in Electoral Area H be approved.

SUMMARY

The 5-year Project Plan: 2020-2024 outlines the Community Parks projects identified for the Electoral Area and will guide the development of workplans and the capital plan.

BACKGROUND

The 5-year Project Plan: 2020-2024 outlines the Community Parks projects identified for the Electoral Area. Projects are ranked by priority, high to low. Suggestions come from the Parks and Open Space Advisory Committee (POSAC), the Electoral Area Director, and applicable Plans. The project list is reviewed every year to ensure that new priorities are captured.

ALTERNATIVES

1. That the 5-year Project Plan: 2020-2024 for Community Parks in Electoral Area H be approved.
2. That alternative direction be provided.

FINANCIAL IMPLICATIONS

Electoral Area H Community Park projects planned for next year will be considered as part of the 2020 budget process. Project budget guidelines are provided on the attached 5-year Project Plan: 2020-2024 EA H along with the funding sources, if known and/or currently available.

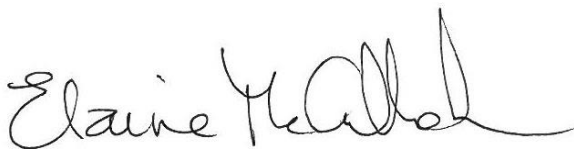
The available funding sources for Community Parks are the Area H Community Parks Budget and the Area H Reserve Fund. The Cash-in-Lieu Reserve Fund can only be used to purchase park land. Community Works Funds can also be used when available. Current budget availability for Electoral Area H is:

EA H Reserve Fund	\$19,276
EA H Cash-in-Lieu Reserve Fund	\$232,154

The Community Parks Budget is reviewed annually by the Regional Board and funding priorities are set with consideration of input and recommendations from the Electoral Area H POSAC.

STRATEGIC PLAN IMPLICATIONS

Focus On Service And Organizational Excellence - We Recognize Community Mobility And Recreational Amenities As Core Services



Elaine McCulloch
emcculloch@rdn.bc.ca
May 17, 2019

Reviewed by:

- W. Marshall, Manager, Parks Services
- T. Osborne, General Manager, Recreation and Parks
- G. Garbutt, Acting Chief Administrative Officer

Attachments

1. 5-year Project Plan EA H 2020-2024_spring 2019

5-year Project Plan: 2020-2024 for Community Parks in Electoral Area H

PLANNING WORKSHEET

Reserve Fund: \$19,276

Cash-in -Lieu Reserve Fund: \$232,154

As of May 2019

for review at the June 10, 2019 POSAC meeting

Note: This worksheet is provided for planning purposes only and is subject to change to accommodate other Board directives, funding constraints, and staff resources.

** Operational Item*

		Approved Budget 2019	Funding Source	Origin
Current Year Projects (2019)				
2019	Dunsmuir CP: Phase 1 final grading & planting	\$23,800	CP Operational Budget, 2019	April 24, 2018 Board
2019	Dunsmuir CP: Phase 2 construction drawings	\$6,000	CP Operational Budget, 2019	April 24, 2018 Board
2019	Wildwood CP: kiosk signage	\$5,000	CP Operational Budget, 2019	
2019	Beach Access: Sunny Beach planning	\$20,000	CP Operational Budget, 2019	
2019	Beach Access: signage & improvements	\$4,500	CP Operational Budget, 2019	June 11,2018 POSAC
2019	Lions Park: Operators Agreement (5 year, renewable)	\$0	staff time	
2019	Oakdowne CP: crown land licence for surrounding properties	\$0	staff time	
2019	Lions Park: garbage can replacement (x2)	\$0	staff time	
2019	Lions Park: infrastructure review, base information review	\$0	staff time	
2019	Henry Morgan CP: maintenance review	\$0	staff time	

		Estimated Cost	Proposed Funding Source	Origin
High Priority Projects (2020)				
2020	Lions Park: community consultation & park concept plan (inc. consideration of skatepark)	TBD	CP Operational Budget, 2020	
2020	Dunsmuir CP: Phase 2 grant applications	TBD	CP Operational Budget, CW Funds, 2019	
2020	Beach Access: Sunny Beach improvements	TBD		

Medium Priority Projects (2021-2022)				
2021	Lions Park: Phase 1 detailed planning	TBD		
2021	Dunsmuir CP: Phase 2 tender and construction	TBD		
2022	Henry Morgan CP: Phase 3 Park improvements, planning	TBD	CP Operational Budget, 2020	

Low Priority Projects (2023-2024)				
	Dunsmuir CP: trail development feasibility assessment	TBD		
	Lions Park: Phase 1 tender & construction	TBD		
	Henry Morgan CP: Phase 3 Park improvements	TBD	CP Operational Budget, 2020	
	Area H roadside trails			
	Connecting school trail			ATP initiative

Additional Project Suggestions				
	Support roadside safety improvements			
	E&N community trail by rail			

Completed Projects		Cost		
2018	Leon-Marshall Rd Trail: improvements	\$15,000	CP Operational Budget, 2020	
2018	Wildwood CP: sign kiosk	\$10,000	\$5,000 CP Operational Budget, \$5,000 Regional Budget 2018	
2017/18	Dunsmuir CP: Concept Plan, Phase 1 construction drawings	\$10,000	CP Operational Budget, 2018	April 24, 2018 Board
2017	Water Access signage review	\$0	staff time	
2017	Water Access signage install: Raft Rd, Cochrane Rd, Henson Rd, Noonday Rd, Henry Morgan Dr, Deep Bay Dr (end of spit)		CP Operational Budget, 2017	
2017	Roadside Trails: OCP review	\$0	staff time	
2016	Dunsmuir CP: Concept Plan & open house	\$0	staff time	
2016	Contribution to Lighthouse Community Hall Upgrades	\$20,000	CP Operational Budget, 2016	
2016	Oakdowne CP: Crown Lease renewal & acquisition of surrounding properties	\$0	staff time	
2016	Dunsmuir Area: POSAC outreach event	\$0	staff time	
2015	Thompson Clarke Trail Lease Renewal	\$0	staff time	
2015	Park Open house: presentation materials & attendance	\$0	staff time	
2015	Contribution to Lighthouse Community Hall Upgrades	\$20,000	CP Operational Budget, 2015	
2015	Shoreline Drive stair repairs		CP Operational Budget, 2015	
2014	Oakdowne Trails: signage plan and sign installation	\$4,000	CP Operational Budget, 2014	
2014	Henry Morgan CP: Phase 2 play equipment installation	\$12,000	CP Operational Budget, 2014	
2014	Henry Morgan CP: porta potty surround	\$3,000	CP Operational Budget, 2014	
2014	Essary Rd: trail development & signage	\$1,000	CP Operational Budget, 2014	
2014	Contribution of Lighthouse Community Hall Upgrades	\$20,000	CW Funds, 2014	
2012	Henry Morgan CP: Phase 1 construction	\$200,000	CP Reserves, 2014; grant	

TO: Electoral Area Services Committee **DATE:** July 9, 2019

FROM: Sarah Martin
Planning Technician **FILE:** PL2019-076

SUBJECT: Development Permit with Variance Application No. PL2019-076 -
862 Poplar Way, Electoral Area F
Lot 13, Distict Lot 74, Newcastle District (Partly within Cameron), Plan 23200

RECOMMENDATIONS

1. That the Board approve Development Permit with Variance No. PL2019-076 to permit the construction of an accessory building subject to the terms and conditions outlined in Attachment 2.
2. That the Board direct staff to complete the required notification for Development Permit with Variance No. PL2019-076.

SUMMARY

The applicant has applied to the Regional District of Nanaimo for a Development Permit with Variance for a proposed accessory building to be used as a studio space. Due to the constraints of the site, the applicant is requesting a variance to the top of bank setback for watercourses from 15.0 metres to 6.6 metres. The proposed siting is supported by a Riparian Area Assessment, prepared by Aquaparian Environmental Services Ltd and a Geotechnical Hazard Assessment prepared by Lewkowich Engineering Associates Ltd. No development is proposed within the streamside protection and enhancement area, and the building is sited greater than the recommended 4.5 metre geotechnical setback from the top of slope. Given that the development permit area guidelines have been met and no negative impacts are anticipated as a result of the proposed variance, it is recommended that the Board approve the development permit with variance pending the outcome of public notification and subject to the terms and conditions outlined in Schedules 1 to 4 of the draft development permit with variance, included as Attachment 2.

BACKGROUND

The Regional District of Nanaimo (RDN) has received an application from Kyle Tamburri on behalf of Anne Tamburri to permit the construction of an accessory building within the rear yard area of the subject property. The property is approximately 0.18 hectares in area and is zoned Rural Residential 2 (R-2) pursuant to "Regional District of Nanaimo Electoral Area 'F' Zoning and Subdivision Bylaw No. 1285, 2002". The property is located to the south of Alberni Highway and is bordered by Crocker Creek (see Attachment 1 – Subject Property Map).

The property contains a dwelling unit and dilapidated accessory building. It is serviced by a well and on site sewerage.

The proposed development is subject to the Freshwater and Fish Habitat Development Permit Area (DPA) per the “Regional District of Nanaimo Electoral Area ‘F’ Official Community Plan Bylaw No. 1152, 1999”.

Proposed Development and Variance

The proposed development includes the removal of soil and construction of a building within 30.0 metres of a mapped, fish-bearing watercourse. The rear yard area is impacted by a watercourse located on a neighbouring property, meandering along the subject property’s rear lot line at the bottom of a steep slope (Crocker Creek). To accommodate the siting of an accessory building, the applicant proposes to vary the following regulations from the “Electoral Area ‘F’ Zoning and Subdivision Bylaw No. 1285, 2002”:

- **Section 2.10.2 - Setback Requirements from Watercourses** to reduce the top of bank setback from 15.0 metres to 6.6 metres, for the proposed accessory building as shown on Schedule 2 of Attachment 2.

Land Use Implications

The applicant’s rationale for siting the proposed accessory building within the watercourse setback is due to the septic field within the front yard and existing parking provisions within the side yard area (driveway). The applicant notes that the watercourse setback and riparian assessment area impact the entirety of the rear yard area. A variance would be required regardless of the siting. The proposed location was chosen to maintain the functionality of the existing yard area.

It is worth noting that the zoning bylaw requires a minimum of two parking spaces per dwelling unit provided on site; the driveway serves this requirement.

In support of the proposed variance, the applicant has submitted a Geotechnical Hazard Assessment prepared by Lewkowich Engineering Associates Ltd, dated April 5, 2019. The hazard assessment provides a review of the characteristics of the steep slope and proposed building site: soil conditions, surface and ground water, and floodplain impacts. It notes that the steep slope is in stable condition, however, slow surficial sloughing and erosion is occurring, which will result in the eventual regression of the slope crest. A setback of 4.5 metres from the crest of slope (top of bank) is recommended. The proposed siting exceeds this recommendation at 6.6 metres from the crest of slope. The hazard assessment concludes that from a geotechnical point of view, the land is considered safe for the use intended provided the recommendations of the assessment are followed. It is recommended that the subject property be developed in accordance with the recommendations of the Geotechnical Hazard Assessment, as outlined in the conditions of permit included in Attachment 2.

The proposed siting of the accessory building meets the requirements of the R-2 zone, as well as the height restrictions and parcel coverage provisions. In accordance with the Floodplain Bylaw, the proposed building meets (and exceeds) the calculated setback from the toe of bank (bottom of slope). Natural grade exceeds the prescribed flood construction level above the natural boundary.

Given that the applicant has provided sufficient rationale demonstrating that the ability to use the property is unreasonably constrained and that the proposed variance would allow for more efficient use of the property, the applicant has made reasonable efforts to address Policy B1.5 guidelines. It is recommended that the requested variance be approved subject to the conditions outlined in Attachment 2.

Environmental Implications

In accordance with the DPA guidelines, the applicant has submitted a Riparian Area Assessment that has been submitted to the Province. The RDN is in receipt of a notice of assessment. The riparian assessment, prepared by Aquaparian Environmental Consulting Ltd, identifies Crocker Creek as a fish-bearing watercourse that supports cutthroat trout, rainbow trout, brown trout, and coho salmon. The riparian strip is characterized by a steep slope, vegetated with largely native plant material. A 10.3 metre Streamside Protection and Enhancement Area (SPEA), as measured from the high water mark, applies to the section of the creek impacting the subject property. The proposed development footprint is roughly 4.3 metres outside of the SPEA. One non-native shrub well outside the SPEA is proposed to be removed and a few limbs on a Douglas fir tree may require pruning due to their proximity to the proposed building envelope. An existing wire fence along the top of bank protects the SPEA from encroachment and it is recommended that snow fencing be installed along the dripline of trees adjacent to the construction zone, to prevent compaction of the root zone by heavy machinery. Due to the proposed foundation construction, which requires the excavation of soil to establish a base for a poured concrete slab, additional recommendations were provided via email for sediment and erosion control. As the DPA guidelines have been met and no negative impacts are anticipated as a result of the proposed development, it is recommended that the proposed development permit with variance be approved subject to the conditions outlined in Attachment 2.

Intergovernmental Implications

The Riparian Area Assessment was submitted to the Ministry of Forests, Lands, Natural Resource Operations and Rural Development by the qualified environmental professional, for which the RDN is in receipt of notification. The Province commented that the methodology has been applied correctly.

Public Consultation Implications

Pending the Electoral Area Services Committee's recommendation and pursuant to the *Local Government Act* and the "Regional District of Nanaimo Development Application and Notification Procedures Bylaw No. 1776, 2018", property owners and tenants of parcels located within a 50.0 metre radius of the subject property will receive a direct notice of the proposal and will have an opportunity to comment on the proposed variance prior to the Board's consideration of the application.

ALTERNATIVES

1. To approve Development Permit with Variance No. PL2019-076 subject to the terms and conditions outlined in Schedules 1 to 4 of Attachment 2.
2. To deny Development Permit with Variance No. PL2019-076.

FINANCIAL IMPLICATIONS

The proposed development has no implications related to the Board 2018 – 2022 Financial Plan.

STRATEGIC PLAN IMPLICATIONS

The proposed development has been reviewed and has no implications for the 2019 – 2022 Board Strategic Plan.



Sarah Martin
smartin@rdn.bc.ca
June 18, 2019


Reviewed by:

- P. Thompson, Manager, Current Planning
- G. Garbutt, General Manager, Strategic & Community Development
- P. Carlyle, Chief Administrative Officer

Attachments:

1. Subject Property Map
2. Draft Development Permit

Attachment 2
Draft Development Permit

 <p>REGIONAL DISTRICT OF NANAIMO</p>	<p>STRATEGIC & COMMUNITY DEVELOPMENT</p> <p>6300 Hammond Bay Road, Nanaimo, BC V9T 6N2 250-390-6510 or 1-877-607-4111 <u>www.rdn.bc.ca</u></p> <p>DEVELOPMENT PERMIT NO. PL2019-076</p>
--	---

To: ("Permittee") Anne Patricia Tamburri

Mailing Address: c/o Kyle Tamburri, 862 Poplar Way, Qualicum Beach V9K 1V7

1. Except as varied or supplemented by this permit, the development permit is issued subject to compliance with all applicable bylaws and provincial and federal statutes and regulations.
2. This development permit applies only to those lands within the Regional District of Nanaimo described below, and all buildings, structures and other development thereon:

Legal Description: Lot 13, District Lot 74, Newcastle District (Partly Within Cameron), Plan 23200 ("the Lands")

Civic Address: 862 Poplar Way **P.I.D.:** 000-632-295

3. The Lands shall be developed strictly in accordance with the terms and conditions of this permit.
4. The Permittee as a condition of issuance of this permit agrees to comply with the conditions of Schedule 1, which is attached to and forms part of this permit.
5. The Permittee as a condition of issuance of this permit agrees to develop the Lands, in substantial compliance with the plans and specifications included in Schedules 2, 3, and 4, which are attached to and form part of this permit.
6. With respect to the Lands, "Regional District of Nanaimo Electoral Area 'F' Zoning and Subdivision Bylaw No. 1285, 2002" is varied as outlined in Schedules 1 to 4, which are attached to and form part of this permit.
7. Subject to the terms of the permit, if the holder of the permit does not substantially start construction with respect to which the permit was issued within two years after the date it is issued, the permit shall lapse in accordance with Section 504 of the *Local Government Act*.
8. This permit prevails over the provisions of the bylaw in the event of conflict.
9. Notice of this permit shall be filed in the Land Title Office at Victoria under Section 503 of the *Local Government Act*, and upon such filing, the terms of this permit or any amendment hereto shall be binding upon all persons who acquire an interest in the Lands affected by this permit.
10. This permit is not a building permit.

Authorizing Resolution to issue passed by the Board this XXth day of Month, 2019.

Schedule 1

Conditions of Permit

The following sets out the terms and conditions of Development Permit with Variance No. PL2019-076:

Bylaw No. 1285, 2002 Variances

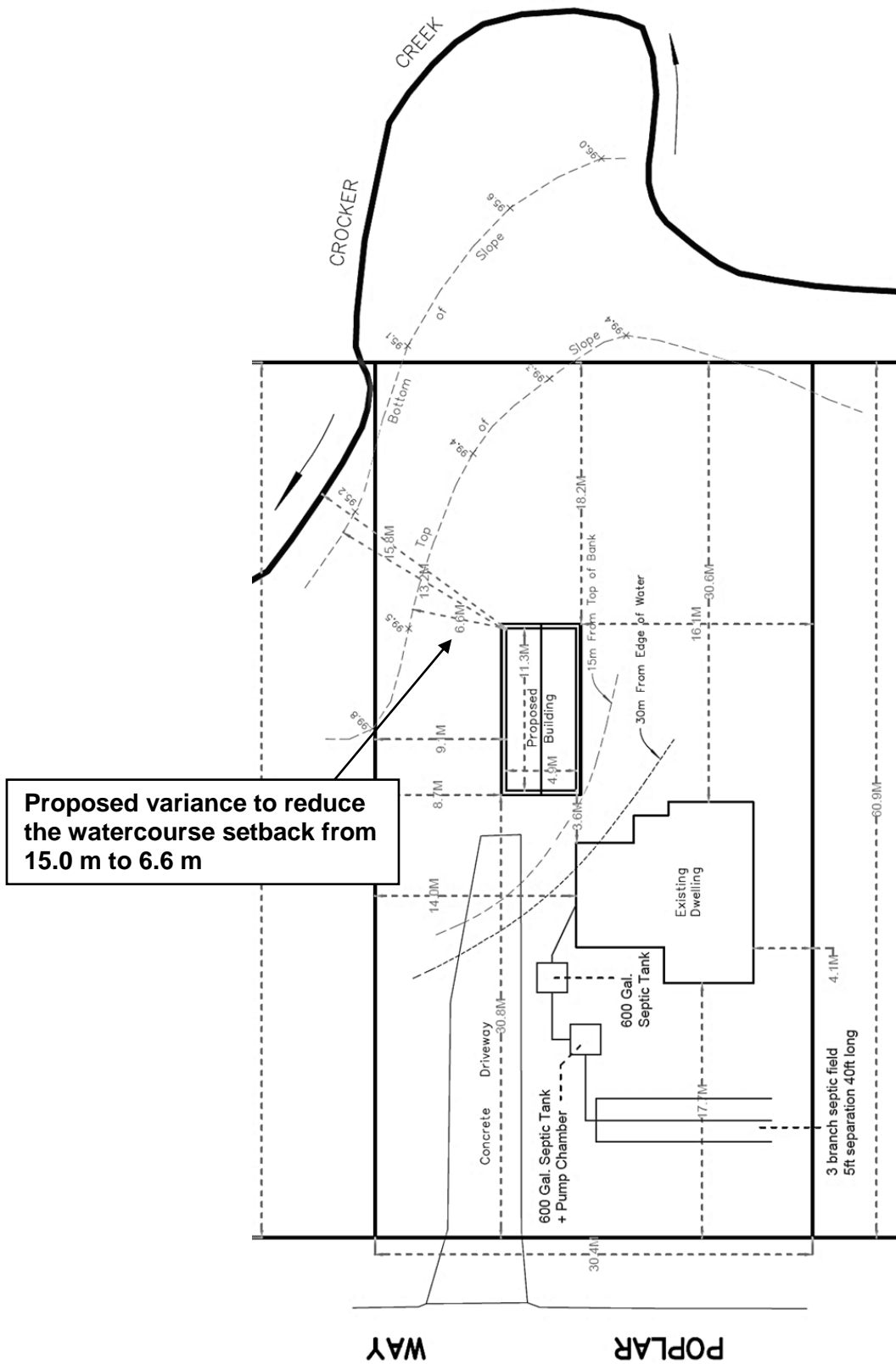
With respect to the lands, “Regional District of Nanaimo Electoral Area ‘F’ Zoning and Subdivision Bylaw No. 1285, 2002” is varied as follows:

1. Section 2.10.2 Setback Requirements from Watercourses – is varied from 15.0 metres to 6.6 metres from the top of bank, for the proposed accessory building as shown on Schedule 2.

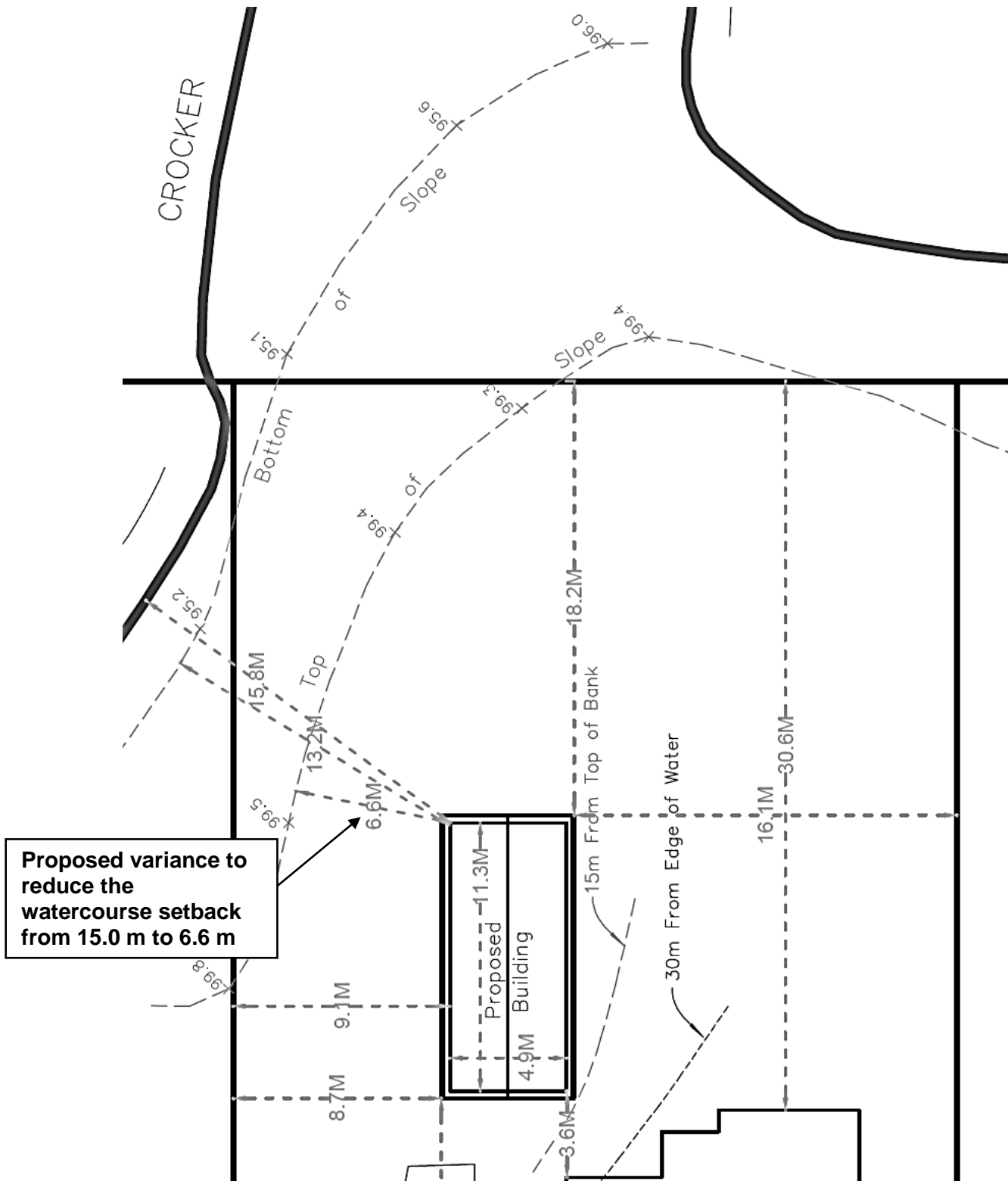
Conditions of Approval

1. The site is developed in accordance with the Site Plan prepared by Kyle Tamburri, attached as Schedule 2 and the Plan of SPEA prepared by Aquaparian Environmental Consulting attached as Schedule 3.
2. The proposed development is in general compliance with the plans and elevations prepared by Kyle Tamburri, attached as Schedule 4.
3. The subject property shall be developed in accordance with the recommendations contained in the Riparian Area Assessment prepared by Aquaparian Environmental Consulting Ltd, dated April 3, 2019 and the recommendations received by email from Chris Zamora of Aquaparian, dated June 7, 2019.
4. The property owner shall provide confirmation in the form of a report prepared by a Qualified Environmental Professional (QEP), to the satisfaction of the General Manager of Strategic and Community Development, that development of the subject property has occurred in accordance with the QEP’s recommendations, prior to final inspection of the accessory building.
5. The subject property shall be developed in accordance with the recommendations contained in the Geotechnical Hazard Assessment prepared by Lewkowich Engineering Associates Ltd, dated April 5, 2019.
6. The property owner shall obtain the necessary permits for construction in accordance with Regional District of Nanaimo Building Regulations.

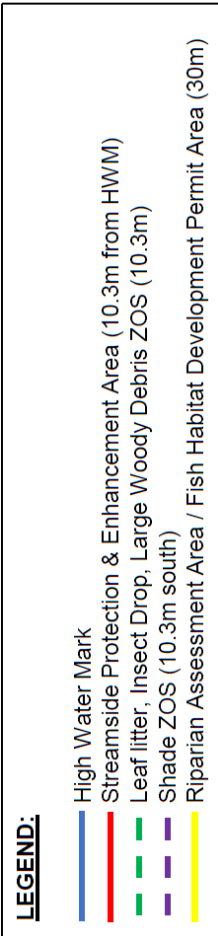
**Schedule 2
 Site Plan
 (1 of 2)**



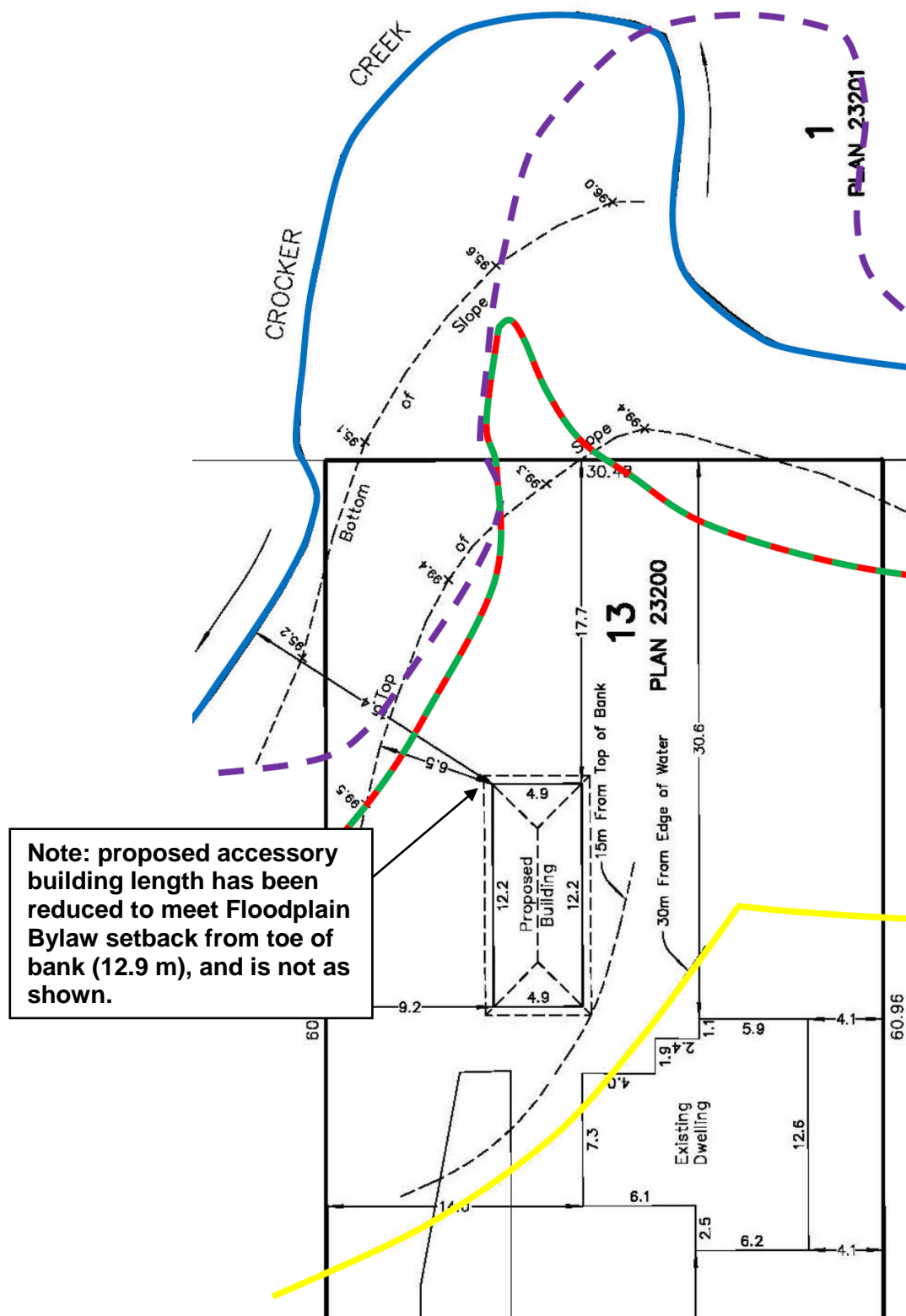
Schedule 2
Site Plan - enlarged for convenience
(2 of 2)



(1 of 2)



Schedule 3
Plan of SPEA – enlarged for convenience
(2 of 2)

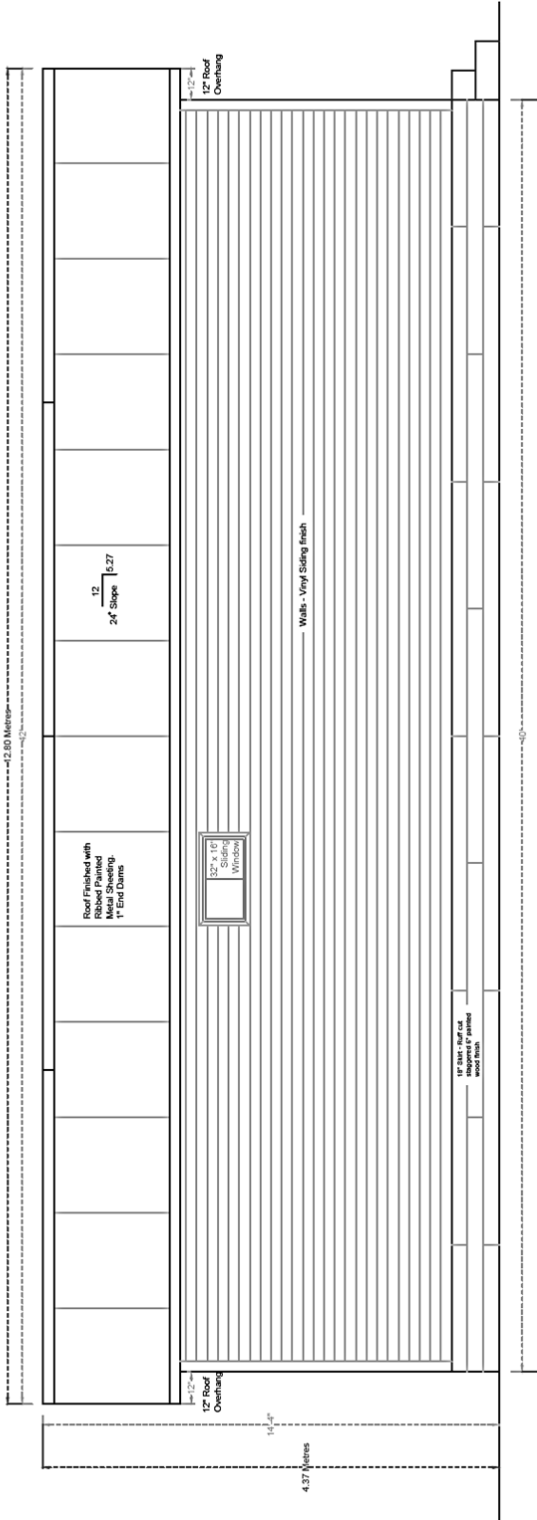


Schedule 4
Building Plans and Elevations – enlarged for convenience
(1 of 4)

16FT x 40FT Building
 (640 SQ.FT.)

Elevation - North
 Facing Wall

1 : 48 Scale
 Scale $\frac{1}{4}" = 1'$

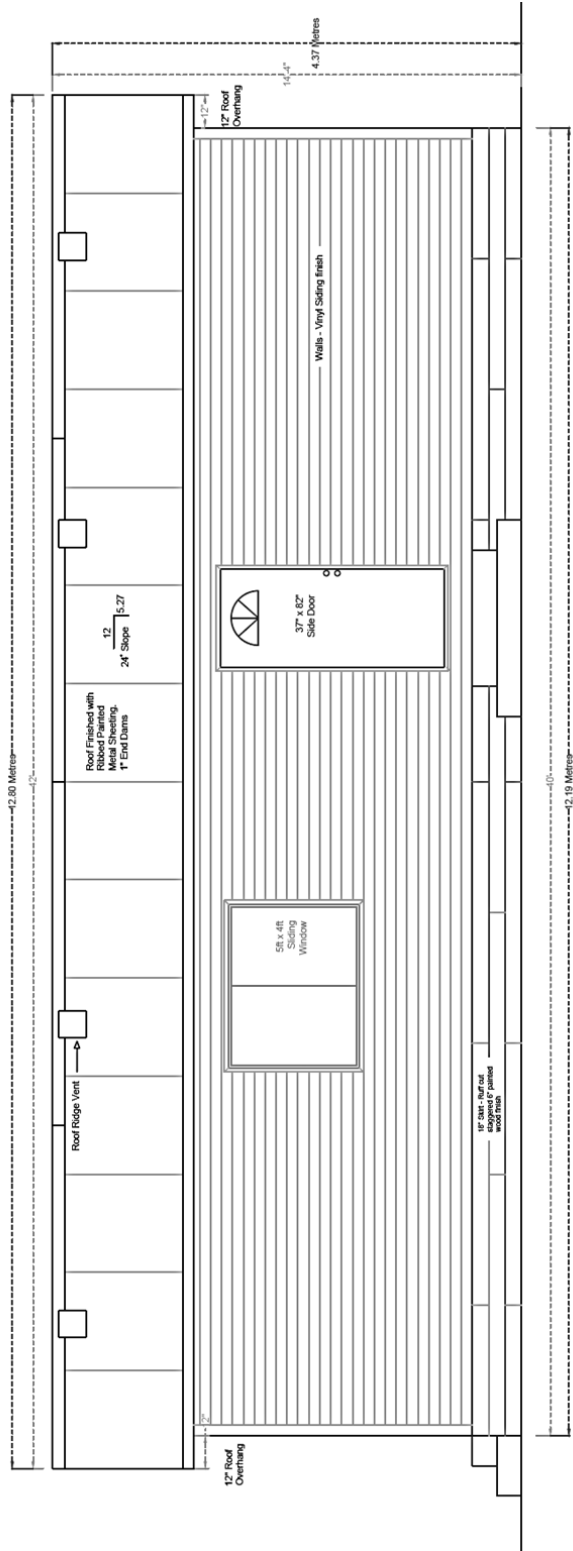


Schedule 4
Building Plans and Elevations— enlarged for convenience
(2 of 4)

16FT x 40FT Building
 (640 SQ.FT.)

Elevation - South
 Facing Wall

1 : 48 Scale
 Scale $\frac{1}{4}$ " = 1'

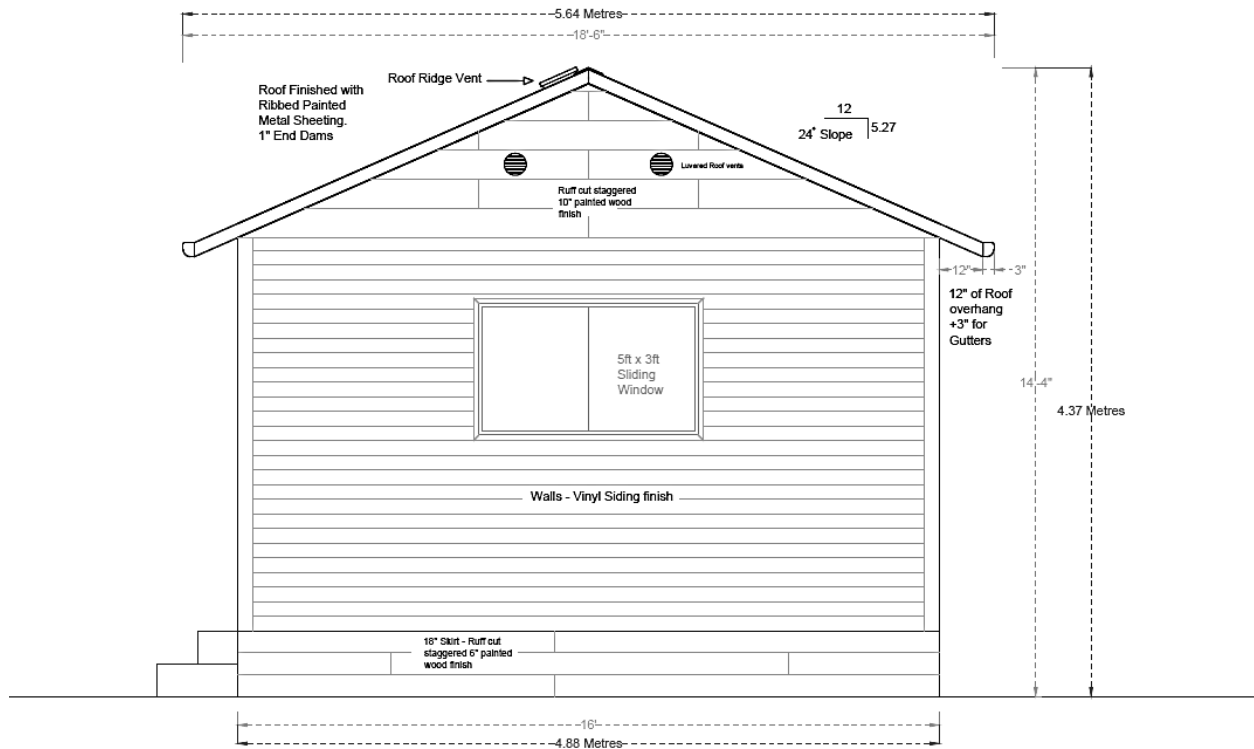


Schedule 4
Building Plans and Elevations – enlarged for convenience
(3 of 4)

16FT x 40FT Building
(640 SQ.FT.)

Elevation - East
Facing Wall

1 : 48 Scale
Scale $\frac{1}{4}" = 1'$

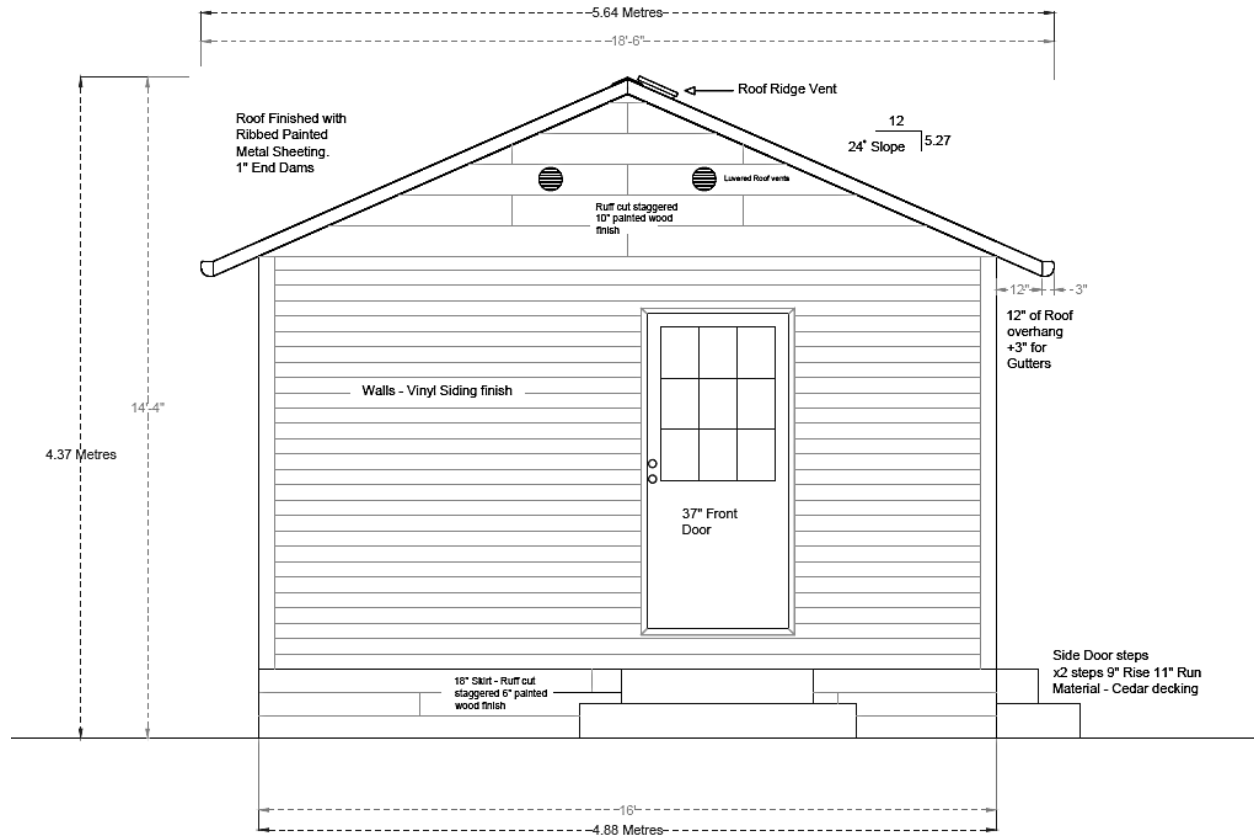


Schedule 4
Building Plans and Elevations – enlarged for convenience
(4 of 4)

16FT x 40FT Building
(640 SQ.FT.)

Elevation - West
Facing Wall

1 : 48 Scale
Scale $\frac{1}{4}" = 1'$



TO: Electoral Area Services Committee **DATE:** July 9, 2019

FROM: Sarah Martin
Planning Technician **FILE:** PL2018-207

SUBJECT: **Development Permit with Variance Application No. PL2018-207 -
Lot 2, Island Highway West, Electoral Area H
Lot 2, District Lot 33, Newcastle District, Plan EPP10603**

RECOMMENDATIONS

1. That the Board approve Development Permit with Variance No. PL2018-207 to permit the development of a dwelling unit, accessory buildings and structures, driveway, stream crossings, yard area, and onsite servicing subject to the terms and conditions outlined in Attachment 2, Schedules 1 to 3.
2. That the Board direct staff to complete the required notification for Development Permit with Variance No. PL2018-207.

SUMMARY

The applicant proposes to develop a dwelling unit, associated servicing, yard area, driveway, and stream crossings within the subject property. The applicant proposes to vary the watercourse setbacks and the lot line setback for a bridge in order to access the subject property. The property is significantly constrained by watercourses and the buildable area can not be accessed without stream crossings. As the applicant has provided sufficient rationale and the variance will not result in negative functional or environmental impacts, the applicant has made reasonable efforts to address Policy B1.5 guidelines. Given that the development permit area guidelines have been met and no negative impacts are anticipated as a result of the proposed development, it is recommended that the development permit with variance be approved subject to the conditions outlined in Schedules 1 to 2 of the draft development permit included as Attachment 2.

BACKGROUND

The Regional District of Nanaimo (RDN) has received an application from Donald Smith on behalf of Claire Lightfoot to permit the development of a dwelling unit, associated servicing, yard area, driveway, and stream crossings. The subject property is approximately 2.01 hectares in area and is zoned Agriculture (AG1), Subdivision District 'D', pursuant to "Regional District of Nanaimo Land Use and Subdivision Bylaw No. 500, 1987". The property is located on the west side of Island Highway West within the Agricultural Land Reserve (see Attachment 1 – Subject Property Map).

The property is currently undeveloped and is significantly constrained by a wetland and Ridgewil Creek. An elevated area to the middle and rear of the property represents the buildable area on

the subject property. The dwelling unit is proposed to be serviced by community water and on-site sewage disposal.

The proposed development is subject to the Freshwater and Fish Habitat Protection Development Permit Area (DPA) per the “Regional District of Nanaimo Electoral Area ‘H’ Official Community Plan Bylaw No. 1335, 2017”.

Proposed Development and Variances

The applicant proposes to develop a driveway with three stream crossings, develop a building site, install hydro and community water along the driveway, construct a dwelling unit, and yard area. This proposal involves the disturbance of soil, removal, alteration, disruption and destruction of vegetation, construction of buildings and structures, and the construction of bridges within the DPA. Therefore, a development permit is required.

A bridge is necessary to cross Ridgewil Creek, which runs parallel to the road frontage. The property can not be accessed without a bridge. As the proposed bridge is considered to be a structure that must meet minimum setback requirements, the applicant proposes to vary the following regulations from the “Regional District of Nanaimo Land Use and Subdivision Bylaw No. 500, 1987”:

1. **Section 3.3.8 Setbacks – Watercourses, excluding the Sea** to reduce the minimum setback from 15.0 metres from the natural boundary or 18.0 metres from the stream centerline, whichever is greater, to 0.0 metres from the natural boundary or stream centerline, whichever is greater, for a bridge across Ridgewil Creek as shown in Attachment 2, in order to access the subject property.
2. **Section 3.4.1.3.1 Minimum Setback Requirements – All non-farm buildings and structures** to reduce the minimum setback from a lot line from 8.0 metres to 5.4 metres for a bridge across Ridgewil Creek as shown in Attachment 2, Schedule 2.

A variance is not required for the wetland crossings, as these are proposed to be culverts that do not meet the definition of a structure under the zoning bylaw. Bank heights range from 0.15 to 0.6 metres below the adjacent level ground surfaces. It should be noted that the work to install these crossings does not require a development permit per DPA exemption 9. The in-stream works have been approved as defined by Section 11 of the *Water Sustainability Act* (Change Approval and Notification).

Land Use Implications

The applicant has provided: a site survey prepared by Oceanside Geomatics Land Surveying Ltd dated June 12, 2019; a bridge design detail prepared by Herold Engineering dated March 1, 2019; a culvert cross section prepared by Donald Smith received March 7, 2019; a Hydrologic Assessment prepared by Integrated Watersheds dated April 11, 2019; an access permit for a residential driveway issued by the Ministry of Transportation and Infrastructure (MOTI) dated November 20, 2018; and, a Riparian Area Assessment and cover letter prepared by EDI Environmental Dynamics Inc (EDI) dated January 2, 2019.

The buildable area within the subject property is significantly constrained and cannot be accessed without crossing the water features that characterize the site. The proposed siting of the driveway, crossings, and servicing corridor is per the recommendations of EDI. As recommended, the servicing corridor for community water and hydro, is proposed to be closely aligned with the driveway, which is proposed along the path with the least impact to the environmentally sensitive

wetland and creek. The proposed bridge design and location has been approved by the Ministry of Forests, Lands, Natural Resource Operations and Rural Development (FLNR), as well as MOTI through their respective approval and permitting processes. The applicant notes that the bridge location is not readily visible from the highway or to neighbours.

The bridge design and proposed culverts will accommodate a 1:200 year flood interval as recommended by EDI and confirmed by Integrated Watersheds. The assessment concludes that Ridgewil Creek functions as a low gradient channel that effectively drains surface water from the area during low-to-moderate events, and that the channel characteristics allow for increased storage volume during elevated discharge events. The upstream drainage characteristics and limitations of an existing culvert under Island Highway West to the north of the subject property causes Ridgewil Creek and its tributaries to back up during moderate-to-high flow periods. However, as the proposed bridge is higher than the elevation of the highway, the bridge is considered to be adequate to accommodate a 1:200 year flood interval and can be installed as planned.

The submitted survey indicates that the proposed dwelling unit location meets the 8.0 metre lot line setback for all non-farm buildings and structures, as well as the 15.0 metre setback from the natural boundary of a watercourse per the Zoning Bylaw and the Floodplain Bylaw. Spot elevations indicate that the dwelling unit will need to be elevated by approximately 2.2 metres to meet the Floodplain Bylaws 1.5 metre flood construction level for un-named and un-mapped watercourses.

Given the significant site constraints and the recommendations of the Hydrologic and Riparian Area Assessments, the applicant has provided sufficient rationale in support of the proposed variance. Further, the proposed variance will not result in negative view implications for adjacent properties. Therefore the applicants have made reasonable efforts to address Policy B1.5 guidelines.

Environmental Implications

In order to satisfy the DPA guidelines, a Riparian Area Assessment (assessment) and cover letter prepared by EDI and a Hydrologic Assessment prepared by Integrated Watersheds, have been submitted in support of the development permit application. The DPA guidelines require that an assessment prepared by a Qualified Environmental Professional be submitted in support of a development permit application (guideline 13). The guidelines also require that development not increase flood risk on the subject property nor on adjacent or nearby properties (guideline 10). The above submission materials address these guidelines.

Water features on and abutting the subject property are associated with Ridgewil Creek, which flows into Nash Creek, a direct tributary to the Sea. Nash Creek is reported to be utilized by anadromous fish such as sea-run cutthroat trout and chum salmon. Juvenile salmonids were observed throughout both streams during the July 2018 EDI site visit.

In order to access the buildable area within the subject property, several crossings of the water features are required. The applicant has worked closely with EDI to determine the best location, treatment, and timing for the driveway crossings and a servicing corridor (community water line and hydro). The proposal also makes use of previously disturbed areas to minimize impacts to functioning riparian vegetation. The assessment provides guidance with the development of this corridor, such as handling fill, maximum corridor width, timing, and sediment and erosion control measures. While the biologist has recommended that the hydro poles be located at specific locations along the driveway, the ultimate design is dependent on the outcome of BC Hydro's electrical service design process. A detailed design can not be prepared by the applicant's

electrical contractor until brush clearing is completed in support of this process. Brush clearing constitutes the disturbance and removal of vegetation.

The proposed dwelling unit location is preliminary and as such, the assessment recommends a 5.0 metre root zone protection area outside of the Streamside Protection and Enhancement Area (SPEA) to ensure that the dwelling is sited appropriately to protect the SPEA. The Province advises that the assessment report is adequate for vegetation disturbance and removal only, and should be updated with the final dwelling unit location. It is not recommended that an additional development permit be required. As the applicant proposes to develop a dwelling unit and associated yard area outside the 5.0 metre root protection zone, it is recommended that these activities be approved in accordance with the conditions of approval outlined in Attachment 2.

The assessment recommends that stream crossing structures and adjacent roadway approaches be designed to accommodate significant flooding, to prevent flooding within and upstream of the subject property. Therefore it is recommended that the applicant be required to develop the bridge in accordance with the submitted engineered bridge designs and the professional recommendations of the Hydrologic Assessment.

The assessment concludes that the fragmentation of sensitive riparian and aquatic habitats will be minimal. It recommends timing for vegetation removal and pruning, as well as for instream works. These time windows are sensitive to fish rearing and bird nesting seasons.

Given that the DPA guidelines have been met, it is anticipated that the proposed development will not result in negative impacts to the assessment area. It is recommended that the development permit application be approved subject to the terms and conditions outlined in Schedules 1 to 3 of the draft development permit included as Attachment 2.

Intergovernmental Implications

The application was referred to FLNR, MOTI, and Emergency Services. FLNR advised that a Notification submitted under the *Water Sustainability Act* was required for the stream crossings and the installation of hydro poles. The applicant has met this requirement, as discussed in this staff report. Per the Province's conditions of approval, stream crossings may be constructed during the no fish window, which is June 15 through September 15, 2019 and must adhere to the Environmental Protection Plan for in-stream works prepared by EDI dated April 20, 2019. An Environmental Monitor must be onsite during the work and have a shutdown procedure in place in case of increased flow or heavy rains.

The location of the proposed driveway access and the proposed variance to the lot line setback for the bridge have been reviewed and approved by MOTI through the driveway access permit application process. MOTI has a legislated setback of 4.5 metres from the travelled lane or fog line of a highway. The proposed bridge is located 5.7 metres from the front lot line, which is approximately 6.4 metres from the edge of the asphalt. The proposed bridge location exceeds this setback and MOTI expressed that it had no concerns with the location of the bridge and driveway.

Emergency Services commented that due to the distance of the dwelling unit from the closest hydrant, firefighting will require an area along the driveway for a relay pump and the ability for a truck to turn around at the end of the driveway. These comments have been passed on to the applicant.

Public Consultation Implications

Pending the Electoral Area Services Committee's recommendation and pursuant to the *Local Government Act* and the "Regional District of Nanaimo Development Application and Notification Procedures Bylaw No. 1776, 2018", property owners and tenants of parcels located within a 50.0 metre radius of the subject property will receive a direct notice of the proposal and will have an opportunity to comment on the proposed variance prior to the Board's consideration of the application.

ALTERNATIVES

1. To approve Development Permit No. PL2018-207 subject to the conditions included in Schedules 1 to 3 of Attachment 2.
2. To deny Development Permit No. PL2018-207.

FINANCIAL IMPLICATIONS

The proposed development has no implications related to the Board 2018 – 2022 Financial Plan.

STRATEGIC PLAN IMPLICATIONS

The proposed development has been reviewed and has no implications for the 2019 – 2022 Board Strategic Plan.



Sarah Martin
smartin@rdn.bc.ca
June 17, 2019

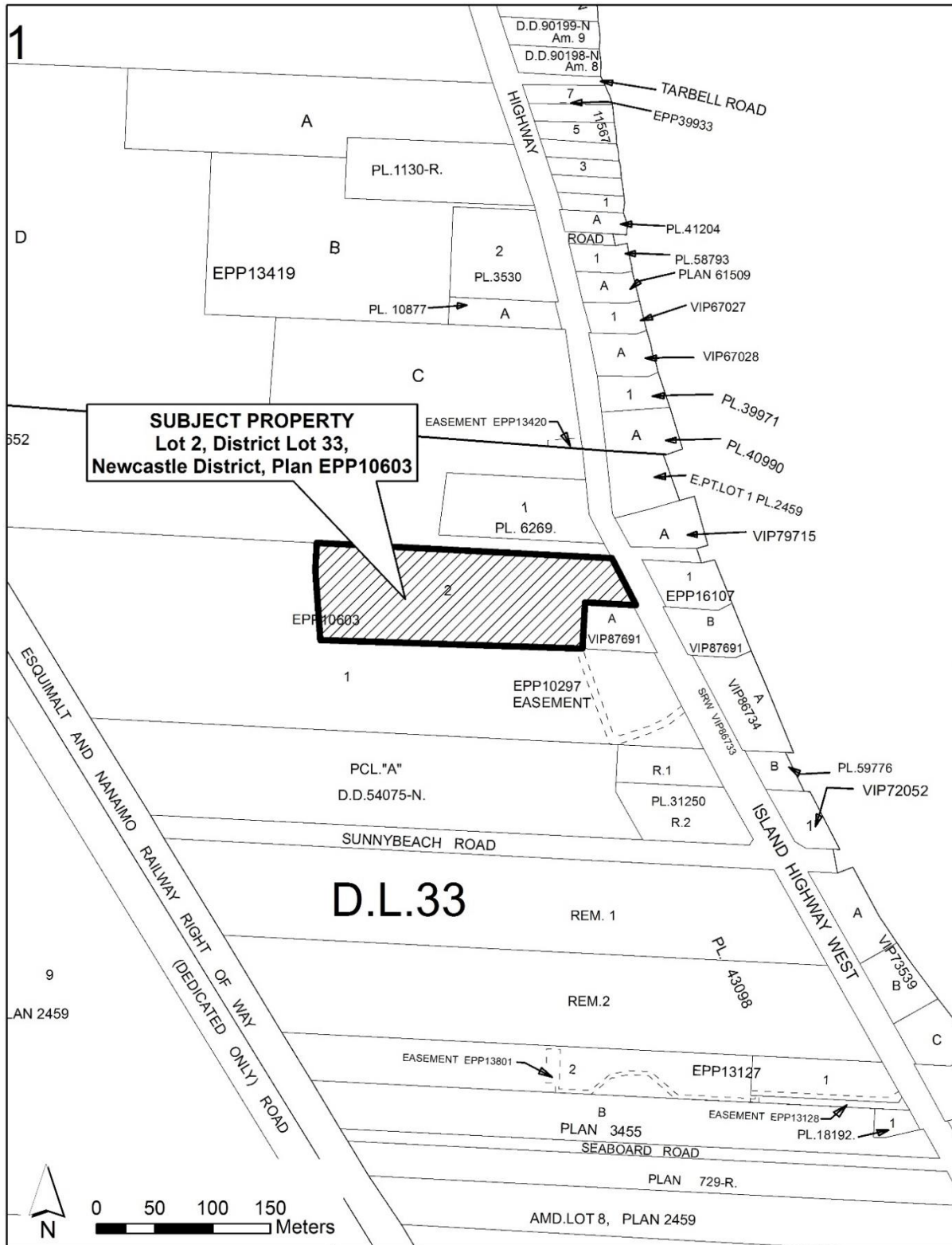
Reviewed by:

- P. Thompson, Manager, Current Planning
- G. Garbutt, General Manager, Strategic & Community Development
- P. Carlyle, Chief Administrative Officer


Attachments

1. Subject Property Map
2. Draft Development Permit PL2018-207

Attachment 1
Subject Property Map



Attachment 2
Draft Development Permit

 <p>REGIONAL DISTRICT OF NANAIMO</p>	<p>STRATEGIC & COMMUNITY DEVELOPMENT</p> <p>6300 Hammond Bay Road, Nanaimo, BC V9T 6N2 250-390-6510 or 1-877-607-4111 www.rdn.bc.ca</p> <p>DEVELOPMENT PERMIT NO. PL2018-207</p>
--	--

To: ("Permittee") Claire Susan Lightfoot

Mailing Address: c/o Donald Smith, 616 Avalon Road, Victoria, BC V8V 1N7

1. Except as varied or supplemented by this permit, the development permit is issued subject to compliance with all applicable bylaws and provincial and federal statutes and regulations.
2. This development permit applies only to those lands within the Regional District of Nanaimo described below, and all buildings, structures and other development thereon:

Legal Description: Lot 2, District Lot 33, Newcastle District, Plan EPP10603 ("the Lands")

Civic Address: Lot 2, Island Highway West **P.I.D.:** 028-930-932

3. The Lands shall be developed strictly in accordance with the terms and conditions of this permit.
4. The Permittee as a condition of issuance of this permit agrees to comply with the conditions of Schedule 1, which is attached to and forms part of this permit.
5. The Permittee as a condition of issuance of this permit agrees to develop the Lands, in substantial compliance with the plans and specifications included in Schedules 2, and 3, which are attached to and form part of this permit.
6. With respect to the Lands, "Regional District of Nanaimo Land Use and Subdivision Bylaw No. 500, 1987" is varied as outlined in Schedules 1 to 3 which are attached to and form part of this permit.
7. Subject to the terms of the permit, if the holder of the permit does not substantially start construction with respect to which the permit was issued within two years after the date it is issued, the permit shall lapse in accordance with Section 504 of the *Local Government Act*.
8. This permit prevails over the provisions of the bylaw in the event of conflict.
9. Notice of this permit shall be filed in the Land Title Office at Victoria under Section 503 of the *Local Government Act*, and upon such filing, the terms of this permit or any amendment hereto shall be binding upon all persons who acquire an interest in the Lands affected by this permit.
10. This permit is not a building permit.

Authorizing Resolution to issue passed by the Board this XXth day of Month, 2019.

Schedule 1 Conditions of Permit

The following sets out the terms and conditions of Development Permit with Variance No. PL2018-207:

Bylaw No. 500, 1987 Variances

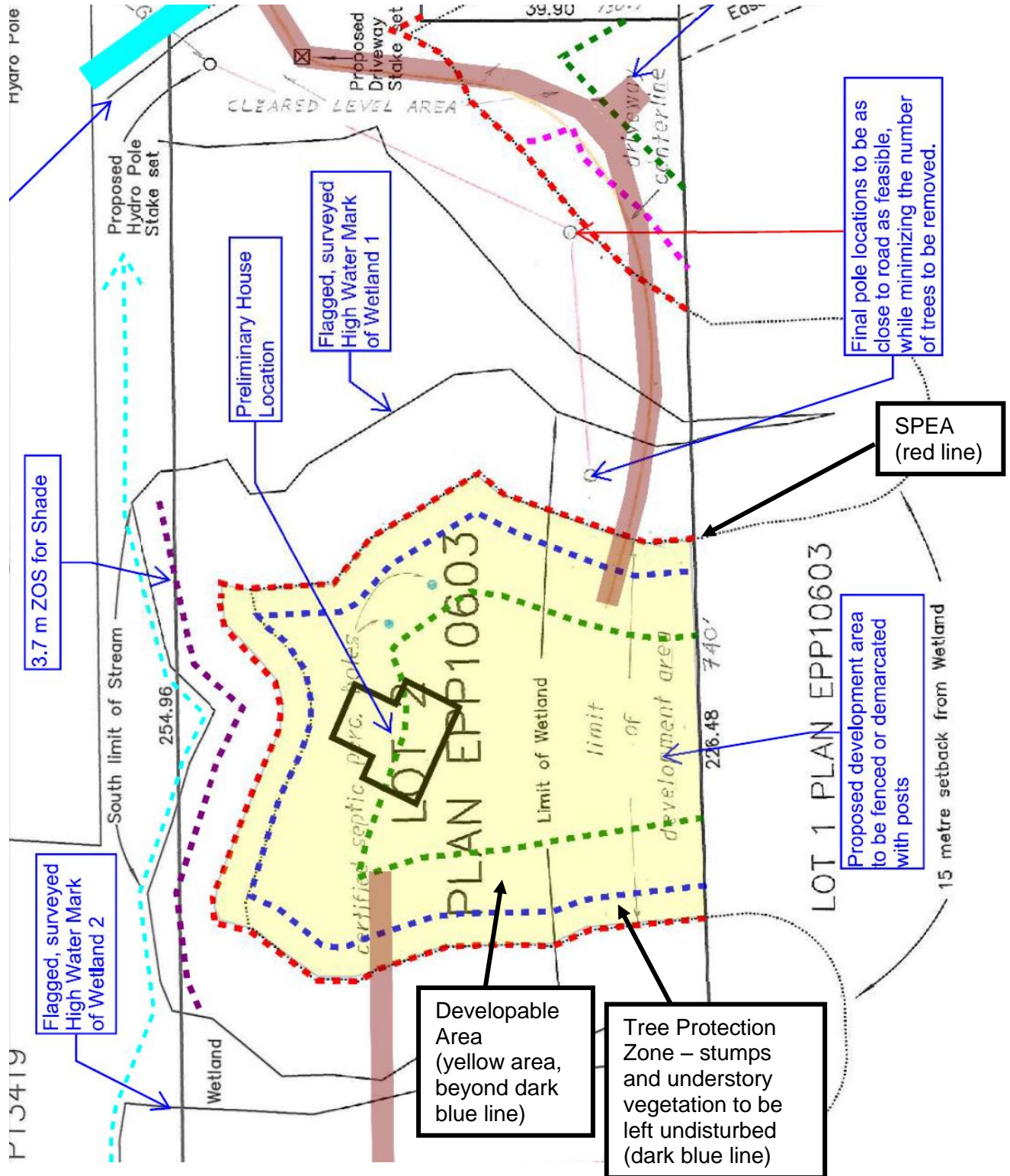
With respect to the lands, "Regional District of Nanaimo Land Use and Subdivision Bylaw No. 500, 1987" is varied as follows:

1. **Section 3.3.8 Setbacks – Watercourses, excluding the Sea** to reduce the minimum setback from 15.0 metres from the natural boundary or 18.0 metres from the stream centerline, whichever is greater, to 0.0 metres for a bridge across Ridgewil Creek as shown in Attachment 2, Schedule 2 and Schedule 3, in order to access the subject property.
2. **Section 3.4.1.3.1 Minimum Setback Requirements – All non-farm buildings and structures** to reduce the minimum setback from a lot line from 8.0 metres to 5.4 metres, for a bridge across Ridgewil Creek as shown in Attachment 2, Schedule 2.

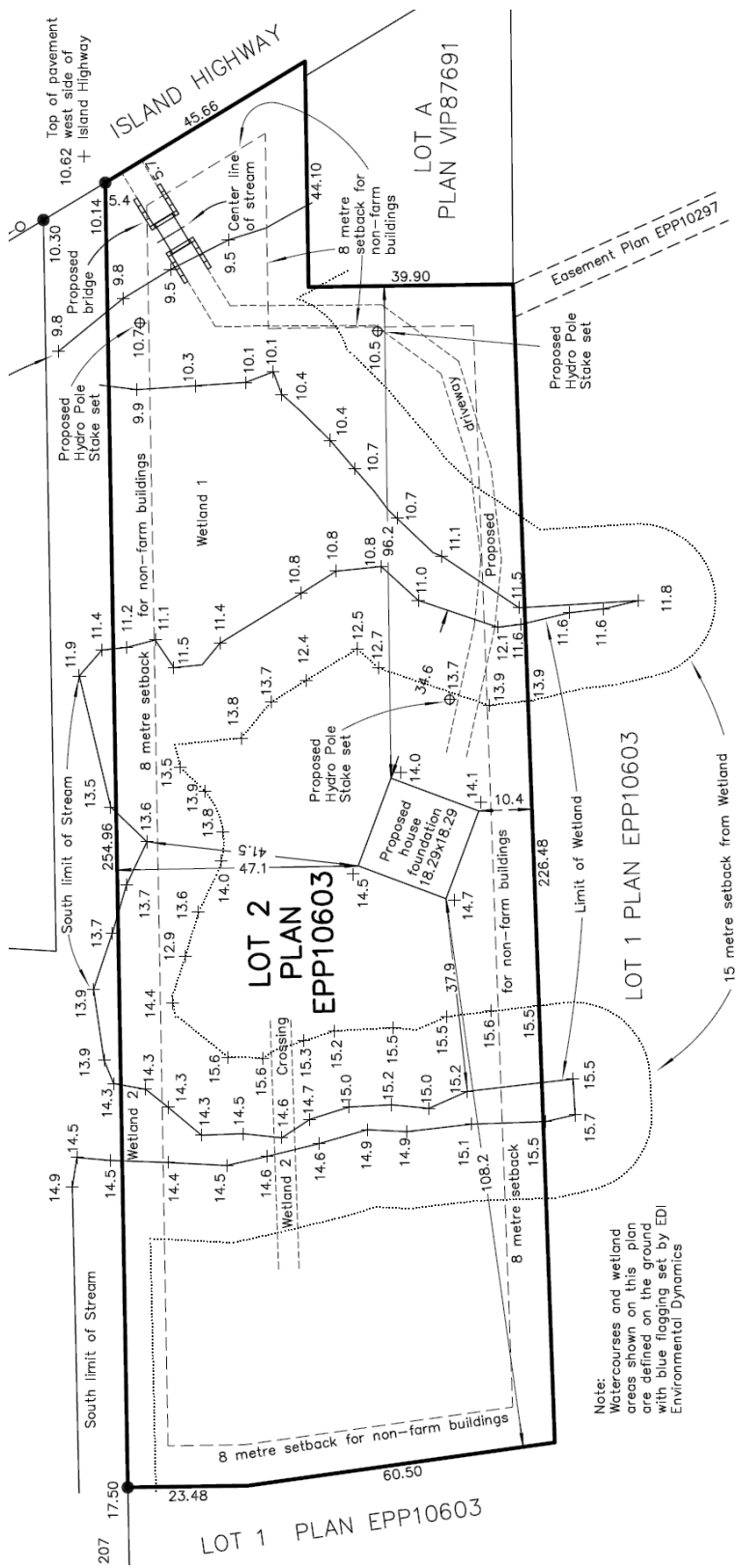
Conditions of Approval

1. The site is developed in accordance with the Site Plan prepared by EDI Environmental Dynamics Inc, dated January 2, 2019 and the Site Plan prepared by Oceanside Geomatics Land Surveying Ltd, dated June 12, 2019, attached as Schedule 2.
2. The subject property shall be developed in accordance with the recommendations contained in the Riparian Areas Assessment prepared by EDI Environmental Dynamics Inc, dated January 2, 2019 and any updated versions submitted to the Province in regards to the final location of the dwelling unit, residential accessory buildings and structures, and hydro poles. To be clear, the yard area and associated residential servicing may be developed within the area marked in yellow, in accordance with the conditions outlined by EDI Environmental Dynamics Inc.
3. Stream Crossings and Bridge Structures shall be constructed in accordance with the plans prepared by Herold Engineering dated March 1, 2019, and the Hydrologic Assessment dated April 11, 2019. Any revisions are subject to review and approval by Strategic and Community Development as well as any relevant Provincial agencies.
4. The property owner shall provide confirmation in the form of a report prepared by a Qualified Environmental Professional (QEP), to the satisfaction of Strategic and Community Development, that development of the subject property has occurred in accordance with the QEP's recommendations prior to the issuance of occupancy on the dwelling unit.
5. Development shall occur in accordance with any approvals, authorizations or permits that may be required by provincial, federal, or other authority, including but not limited to the Ministry of Forests, Lands, Natural Resource Operations and Rural Development, the Ministry of Transportation and Infrastructure, BC Hydro, and the Island Health Authority.
6. The property owner shall obtain the necessary permits for construction in accordance with Regional District of Nanaimo Building Regulations.

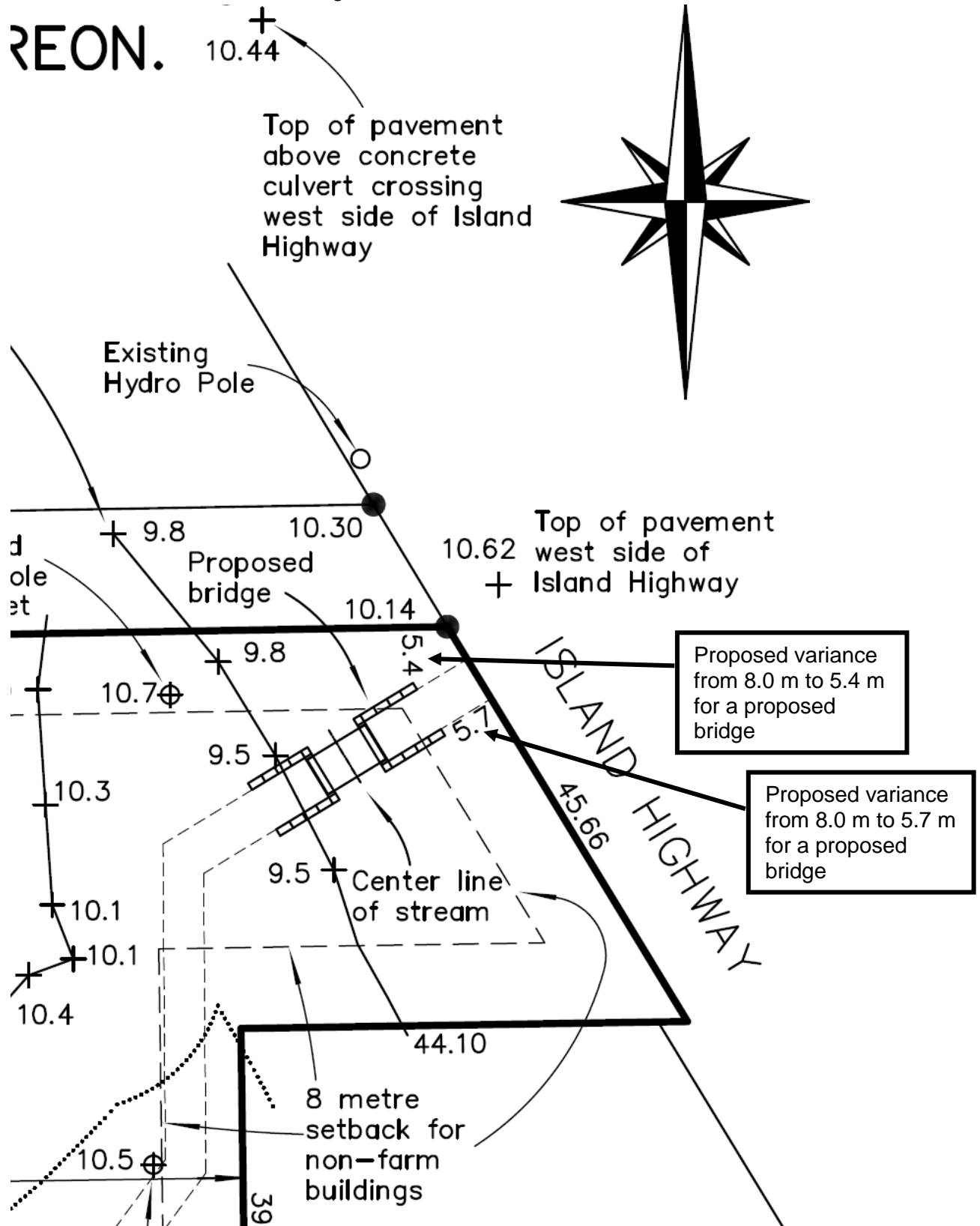
Schedule 2
Plan of SPEA (2 of 2)
 enlarged for convenience



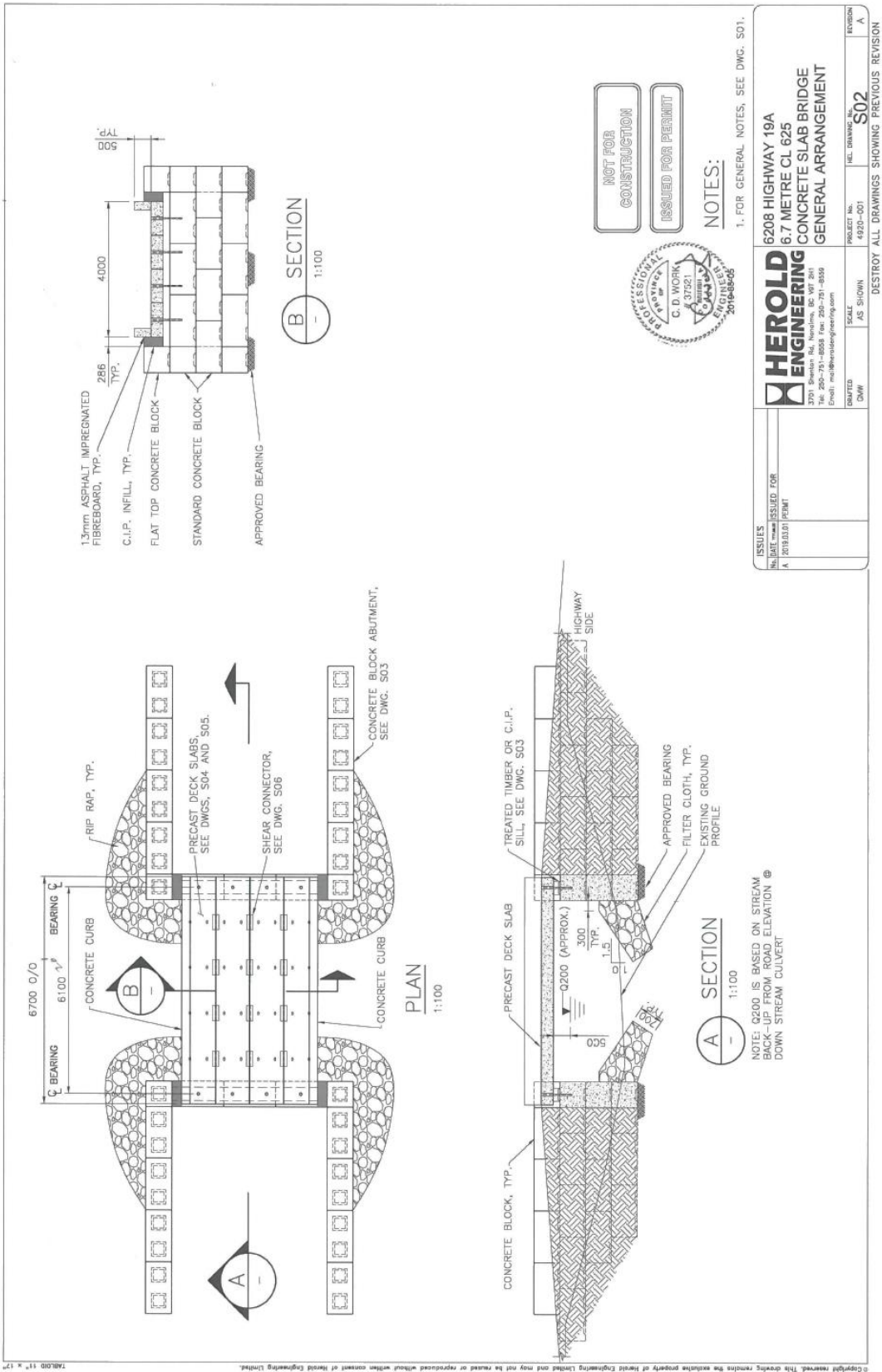
Schedule 2
Survey Plan (2 of 3)
enlarged for convenience



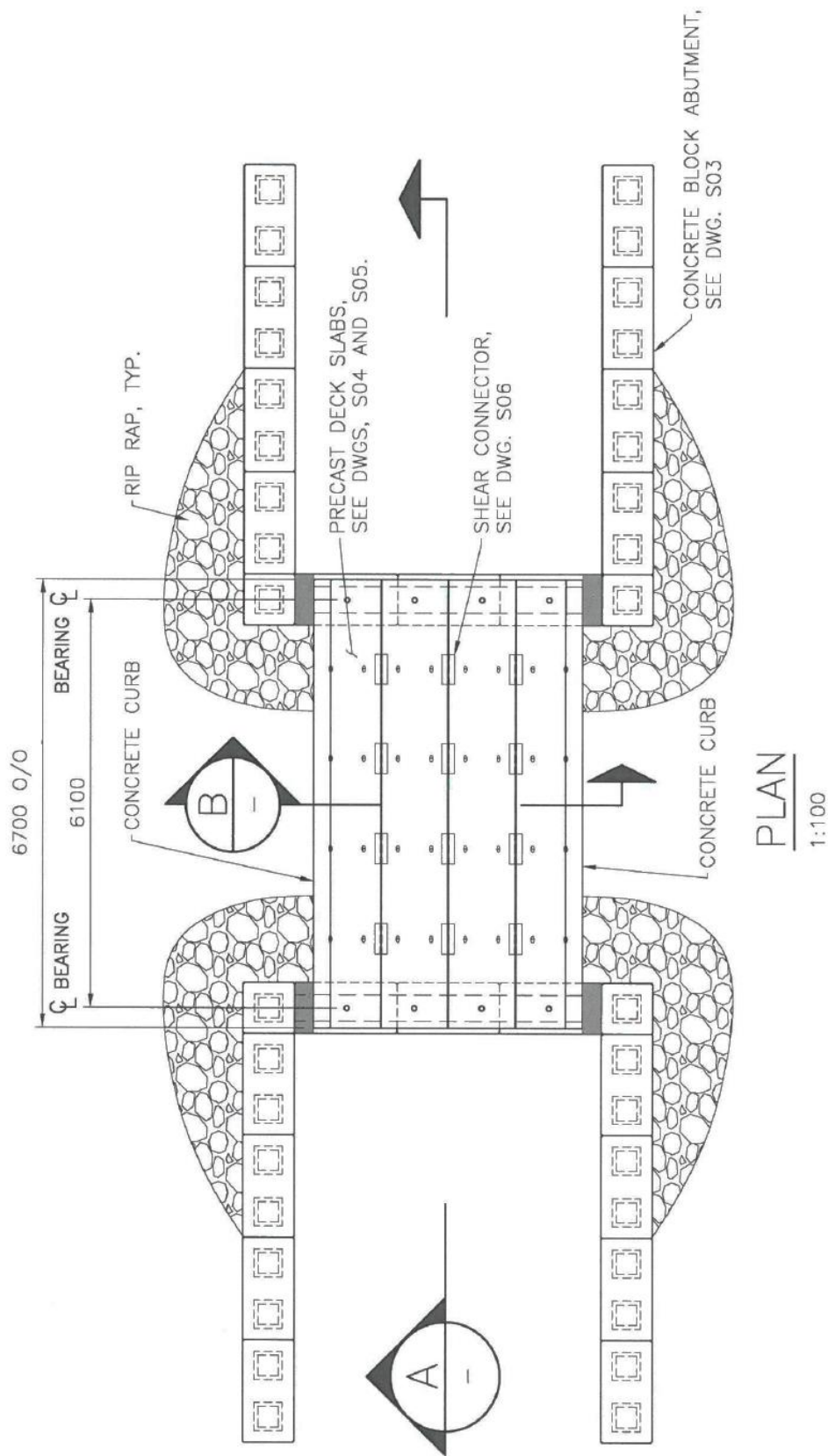
Schedule 2
Survey Plan – Proposed Variance (3 of 3)
enlarged for convenience



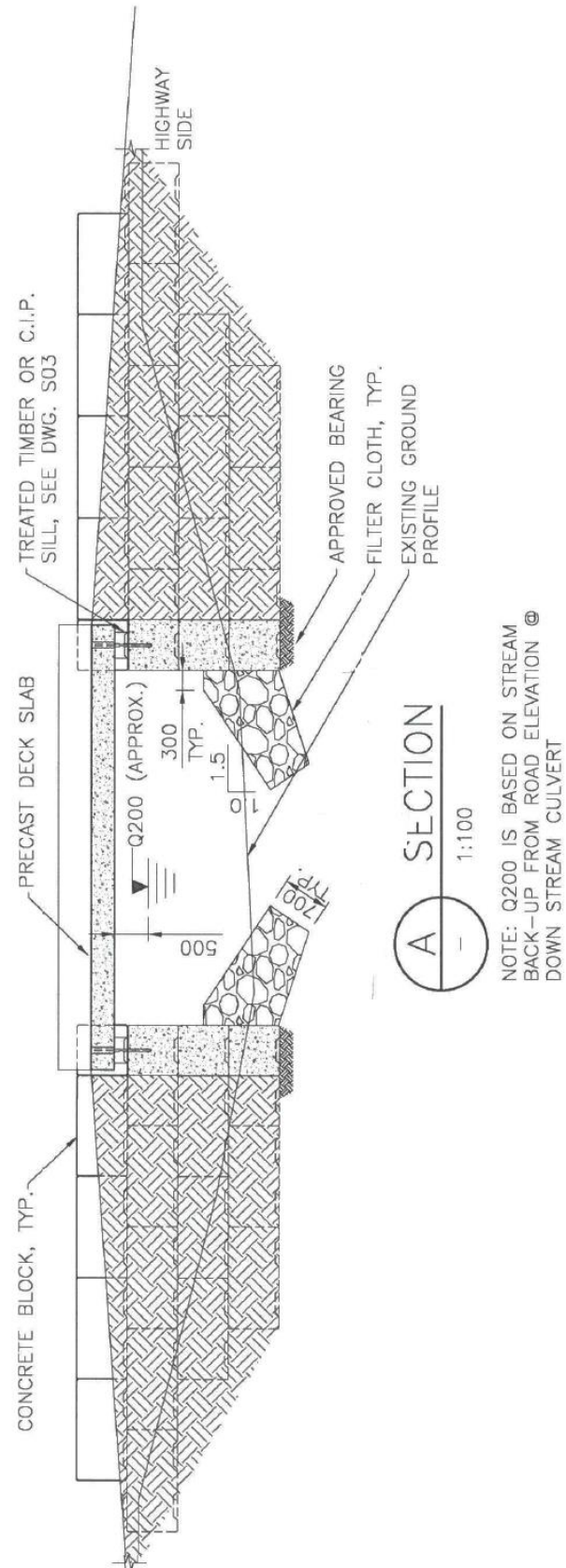
Schedule 3
Stream Crossing Details
(1 of 5)



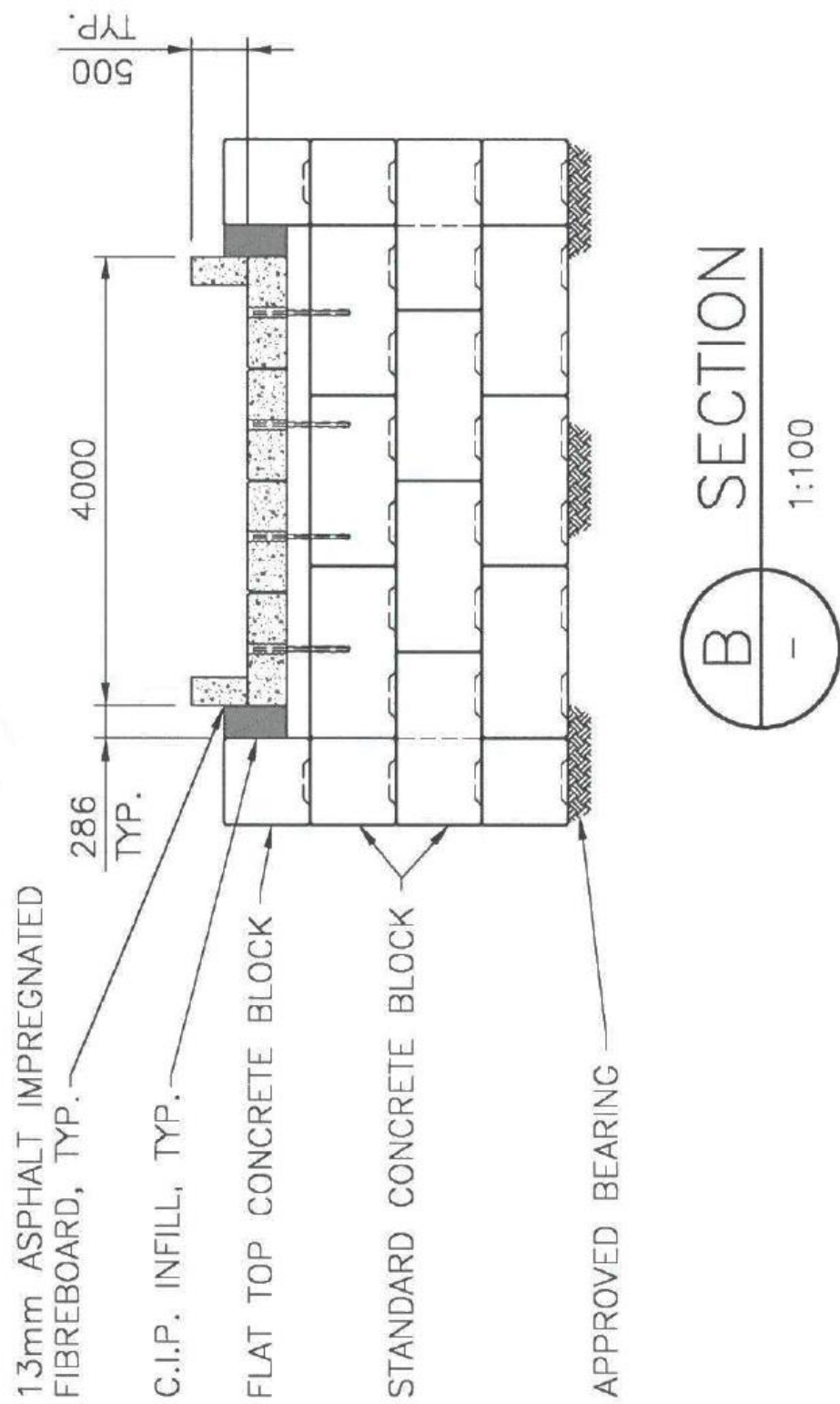
Schedule 3
Stream Crossing Details
(2 of 5)



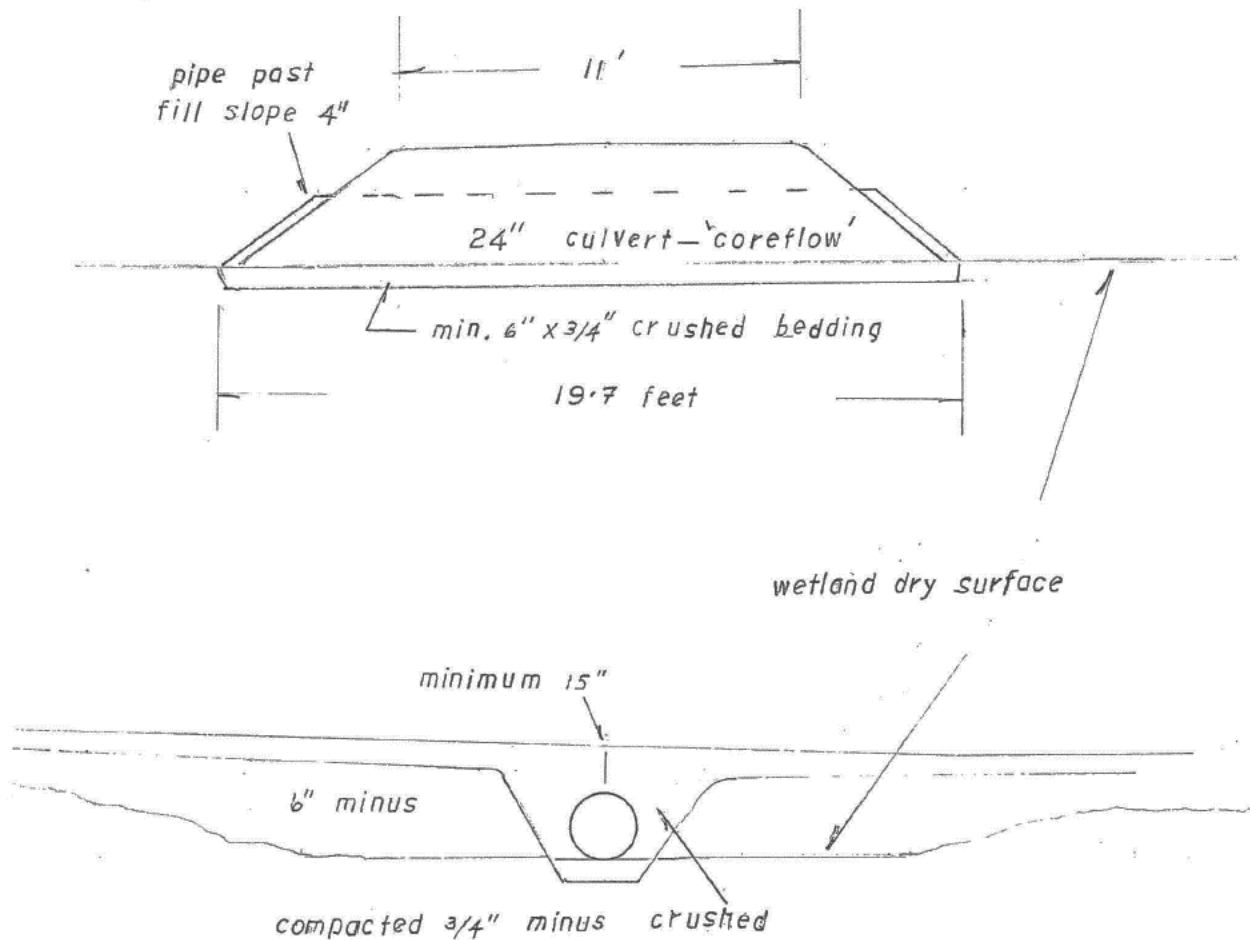
Schedule 3
Stream Crossing Details
(3 of 5)



Schedule 3
Stream Crossing Details
(4 of 5)



Schedule 3
Stream Crossing Details
(5 of 5)



WETLANDS 1 & 2 — TYPICAL

refer to: — site map dated — 2018-09-14

— pages 6 & 7 R.A.R report-2019-01-02

by Adam Compton E.D.I.

TO: Electoral Area Services Committee **DATE:** July 9, 2019

FROM: Stephen Boogaards
Planner **FILE:** PL2019-072

SUBJECT: Development Permit with Variance Application No. PL2019-072
585 Wain Road – Electoral Area G
Lot 6, District Lot 128, Nanoose District, Plan 31732

RECOMMENDATIONS

1. That the Board approve Development Permit with Variance No. PL2019-072 to permit the construction of an addition to the dwelling unit and the accessory building subject to the terms and conditions outlined in Attachment 2.
2. That the Board direct staff to complete the required notification for Development Permit with Variance No. PL2019-072.

SUMMARY

The applicants have applied for a development permit with variance to construct an addition onto the dwelling unit and onto an existing accessory building. Due to the current configuration of the dwelling, accessory building and driveway, an addition for a garage and carport would be situated within the side yard setback to the property line. A variance would permit the functional use of the development as a garage and carport. For a rural lot, the property is also relatively small and narrow. Given the location of the property within the Englishman River floodplain, the applicant has also provided a Geohazard Assessment to provide recommendations to ensure the development is protect from flood hazards. As the applicant has provided a suitable justification and no negative implications are anticipated from the variance, it is recommended that the Board approve the development permit with variance pending the outcome of public notification and subject to the terms and conditions outlined in Schedules 1 to 3 of the draft development permit with variance included as Attachment 2.

BACKGROUND

The Regional District of Nanaimo (RDN) has received an application from Stephen Ingleton on behalf of David Boehr and Sharon Groenendyk to permit the contruction of an addition to the dwelling unit and an accessory building. The subject property is approximately 4,694 m² in area and is zoned Rural 1 (RU1) Zone, pursuant to “Regional District of Nanaimo Land Use and Subdivision Bylaw No. 500, 1987”. The property is located adjacent to other residential properties and is within the mapped Englishman River floodplain (see Attachment 1 – Subject Property Map).

The property contains a dwelling unit and garage and is serviced by a well and onsite sewage disposal. The existing garage is located 2.0 metres from the southern property line, and was approved through Development Variance Permit No. 118 in 1991.

The proposed development is subject to the Hazard Lands Development Permit Area (DPA) as per the “Regional District of Nanaimo Electoral Area G Official Community Plan Bylaw No. 1540, 2008”.

Proposed Development and Variance

The proposed development includes the construction of a bedroom addition and carport addition onto the dwelling, and for an addition to the existing garage. The applicant proposes to vary the following regulations from the “Regional District of Nanaimo Land Use and Subdivision Bylaw No. 500, 1987”:

1. **Section 3.4.81 – Minimum Setback Requirements** to reduce the required setback from 8.0 metres to 2.3 metres for the attached carport.
2. **Section 3.4.81 – Minimum Setback Requirements** to reduce the required setback from 8.0 metres to 1.9 metres for the addition to the existing garage.

Land Use Implications

The proposed carport addition to the dwelling unit and addition onto the accessory building will require a variance to the 8.0 metre side yard lot line setback. “RDN Board Policy B1.5 Development Variance Permit, Development Permit with Variance and Flood Exemption Application Evaluation” requires that an applicant demonstrate that a variance is necessary and to provide an acceptable land use justification. With respect to this requirement, the applicant has identified that the location of the existing accessory building was previously approved in 1991 and that both additions would permit more efficient use of the property in terms of access, heating and use of the building space. The proposal also takes into consideration the location of the existing well and water lines to the dwelling. Due to the angle of the existing accessory building, an addition would be within 1.9 metres to the property line rather than 2.0 metres approved for the existing building.

The applicant’s justification demonstrates that the proposed location of the accessory building and carport additions consider the current configuration of the dwelling and driveway for the functional vehicle access compared with other locations on the property. The justification also considers the relatively smaller size of the lot for a rural property, which was a consideration in the variance issued in 1991. If the lot was 4,000 m², the setback in the RU1 zone would be reduced to 2.0 metres, whereas the property size is 4,694 m². Given the considerations of access, well location, building configuration and lot size, the applicant has provided sufficient rationale and has made reasonable efforts to address Policy B1.5 guidelines.

Given the property’s location within the Englishman River floodplain and the Hazard Lands DPA, the applicant has also submitted a Geohazard Assessment by Base Geotechnical Inc., dated June 14, 2019. The assessment reviewed conditions on the property and provided recommendations to ensure that the proposed construction would be safe for its intended use. The assessment identified that although it is within the floodplain, it is topographically higher than the Flood Construction Level (FCL), due to its location on a historic gravel bar. After

consideration of the impact of climate change on peak flows in the river, the assessment determines that an additional 0.5 metres will be required in addition to the mapped FCL of 12.25 metres Geodetic Survey of Canada datum (GSC) to protect minimum floor elevations and other vulnerable portions of structure. An FCL of 12.75 metres GSC would provide level of safety of 10% in 50 years which is equivalent to the 1 in 500 year flood.

The underside of the floor joists for the dwelling are 13.27 metres GSC and the garage slab is 13.10 metres GSC, which would comply with the minimum FCL identified in the assessment. Given the location within the mapped floodplain, as a condition of the development permit with variance, the assessment will be registered on the property title as a covenant, saving the RDN harmless from all losses or damages to life or property as a result of the hazardous condition (see Attachment 2 Schedule 1 – Terms and Conditions of Permit).

Public Consultation Implications

Pending the Electoral Area Services Committee's recommendation and pursuant to the *Local Government Act* and the "Regional District of Nanaimo Development Application and Notification Procedures Bylaw No. 1776, 2018", property owners and tenants of parcels located within a 50.0 metre radius of the subject property will receive a direct notice of the proposal and will have an opportunity to comment on the proposed variance prior to the Board's consideration of the application.

ALTERNATIVES

1. To approve Development Permit with Variance No. PL2019-072 subject to the terms and conditions outlined in Schedules 1 to 3 of Attachment 2.
2. To deny Development Permit with Variance No. PL2019-072.

FINANCIAL IMPLICATIONS

The proposed development has no implications related to the Board 2018 – 2022 Financial Plan.

STRATEGIC PLAN IMPLICATIONS

The proposed development has been reviewed and has no implications for the 2019 – 2022 Board Strategic Plan.



Stephen Boogaards
sboogaards@rdn.bc.ca
June 20, 2019

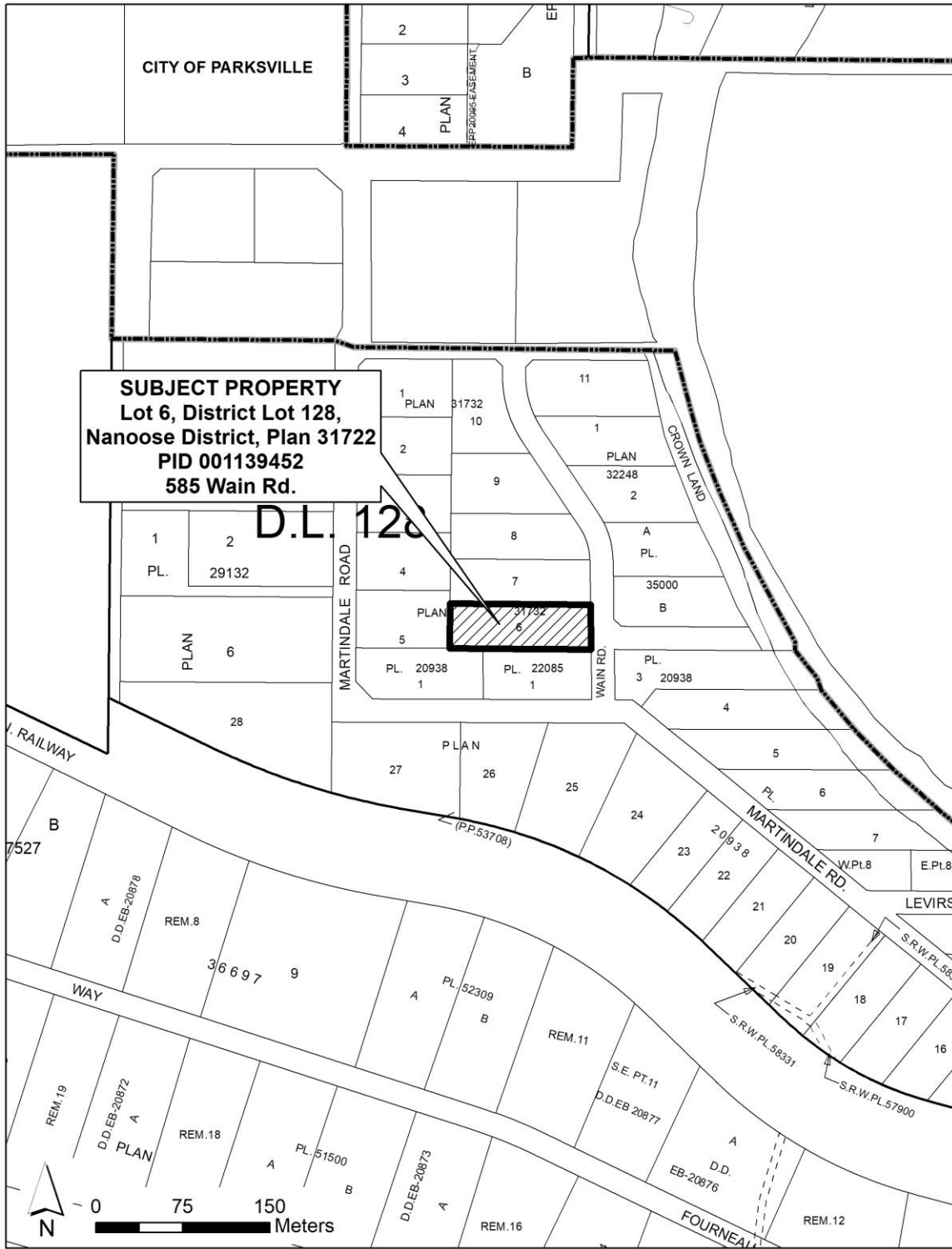
Reviewed by:

- P. Thompson, Manager, Current Planning
- G. Garbutt, General Manager, Strategic & Community Development
- P. Carlyle, Chief Administrative Officer


Attachments:

1. Subject Property Map
2. Draft Development Permit with Variance

Attachment 1 Subject Property Map



Attachment 2
Draft Development Permit with Variance

 <p>REGIONAL DISTRICT OF NANAIMO</p>	<p>STRATEGIC & COMMUNITY DEVELOPMENT</p> <p>6300 Hammond Bay Road, Nanaimo, BC V9T 6N2 250-390-6510 or 1-877-607-4111 www.rdn.bc.ca</p> <p>DEVELOPMENT PERMIT with VARIANCE NO. PL2019-072</p>
--	---

To: ("Permittee") David Richard Boehr and Sharon Leslie Groenendyk

Mailing Address: c/o Stephen Ingleton
PO Box 248
Qualicum Beach, BC V9K 1S8

1. Except as varied or supplemented by this permit, the development permit with variance is issued subject to compliance with all applicable bylaws and provincial and federal statutes and regulations.
2. This development permit with variance applies only to those lands within the Regional District of Nanaimo described below, and all buildings, structures and other development thereon:

Legal Description: Lot 6, Distric Lot 128, Nanoose District, Plan 31732 ("the Lands")

Civic Address: 585 Wain Road **P.I.D.:** 001-139-452

3. The Lands shall be developed strictly in accordance with the terms and conditions of this permit.
4. The Permittee as a condition of issuance of this permit agrees to comply with the terms and conditions of Schedule 1, which is attached to and forms part of this permit.
5. The Permittee as a condition of issuance of this permit agrees to develop the Lands, in substantial compliance with the plans and specifications included in Schedules 2 and 3, which are attached to and form part of this permit.
6. With respect to the Lands, "Regional District of Nanaimo Land Use and Subdivision Bylaw No. 500, 1987" is varied as outlined in Schedules 1 to 3, which are attached to and form part of this permit.
7. Subject to the terms of the permit, if the holder of the permit does not substantially start construction with respect to which the permit was issued within two years after the date it is issued, the permit shall lapse in accordance with Section 504 of the *Local Government Act*.
8. This permit prevails over the provisions of the bylaw in the event of conflict.
9. Notice of this permit shall be filed in the Land Title Office at Victoria under Section 503 of the *Local Government Act*, and upon such filing, the terms of this permit or any amendment hereto shall be binding upon all persons who acquire an interest in the Lands affected by this permit.
10. This permit is not a building permit.

Authorizing Resolution to issue passed by the Board this XXth day of Month, 20XX.

Schedule 1

Terms and Conditions of Permit

The following sets out the terms and conditions of Development Permit with Variance No. PL2019-072:

Bylaw No. 500, 1987 Variances

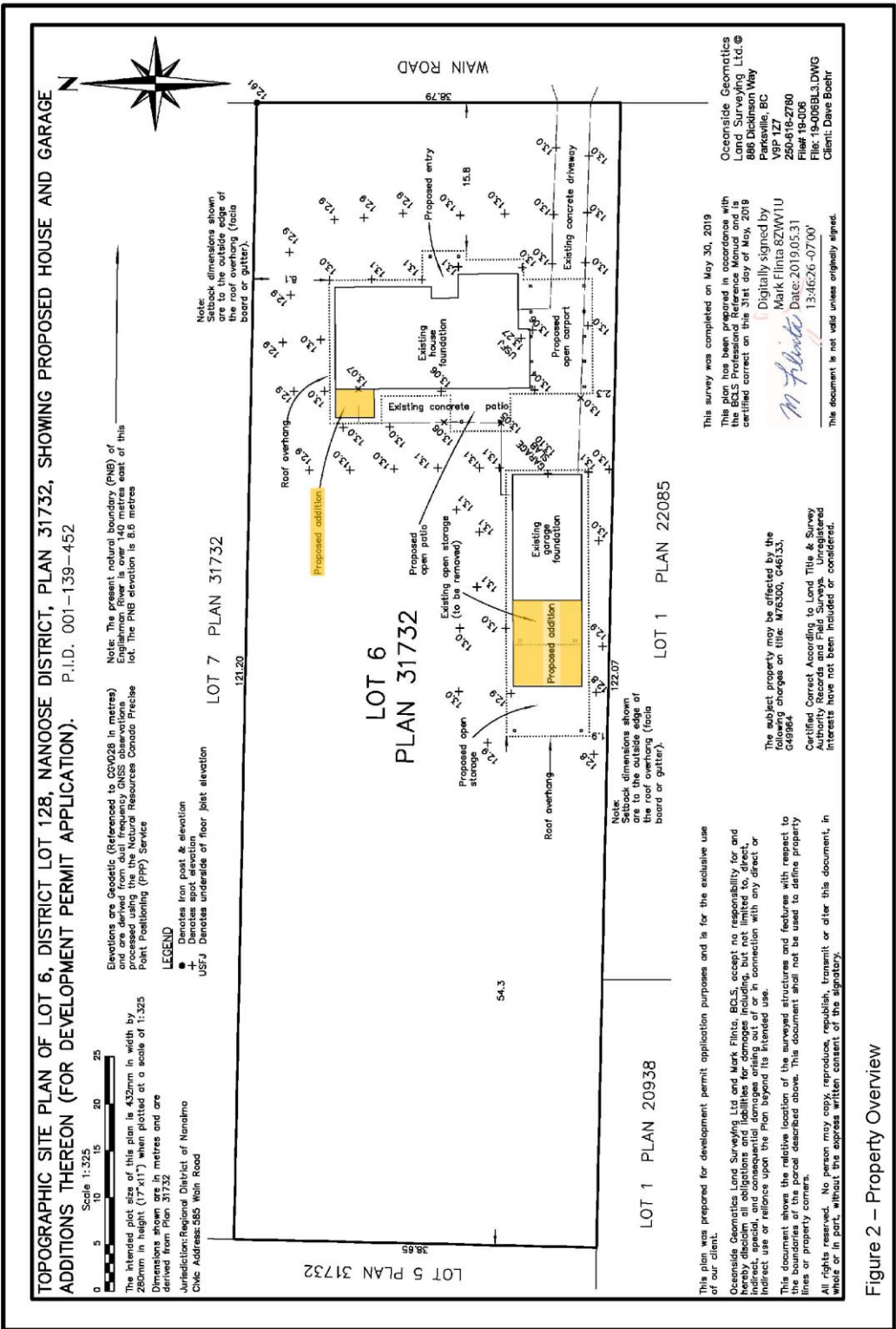
With respect to the lands, “Regional District of Nanaimo Land Use and Subdivision Bylaw No. 500, 1987” is varied as follows:

1. **Section 3.4.81 – Minimum Setback Requirements** to reduce the required setback from 8.0 metres to 2.3 metres for the attached carport.
2. **Section 3.4.81 – Minimum Setback Requirements** to reduce the required setback from 8.0 metres to 1.9 metres for the addition to the existing garage.

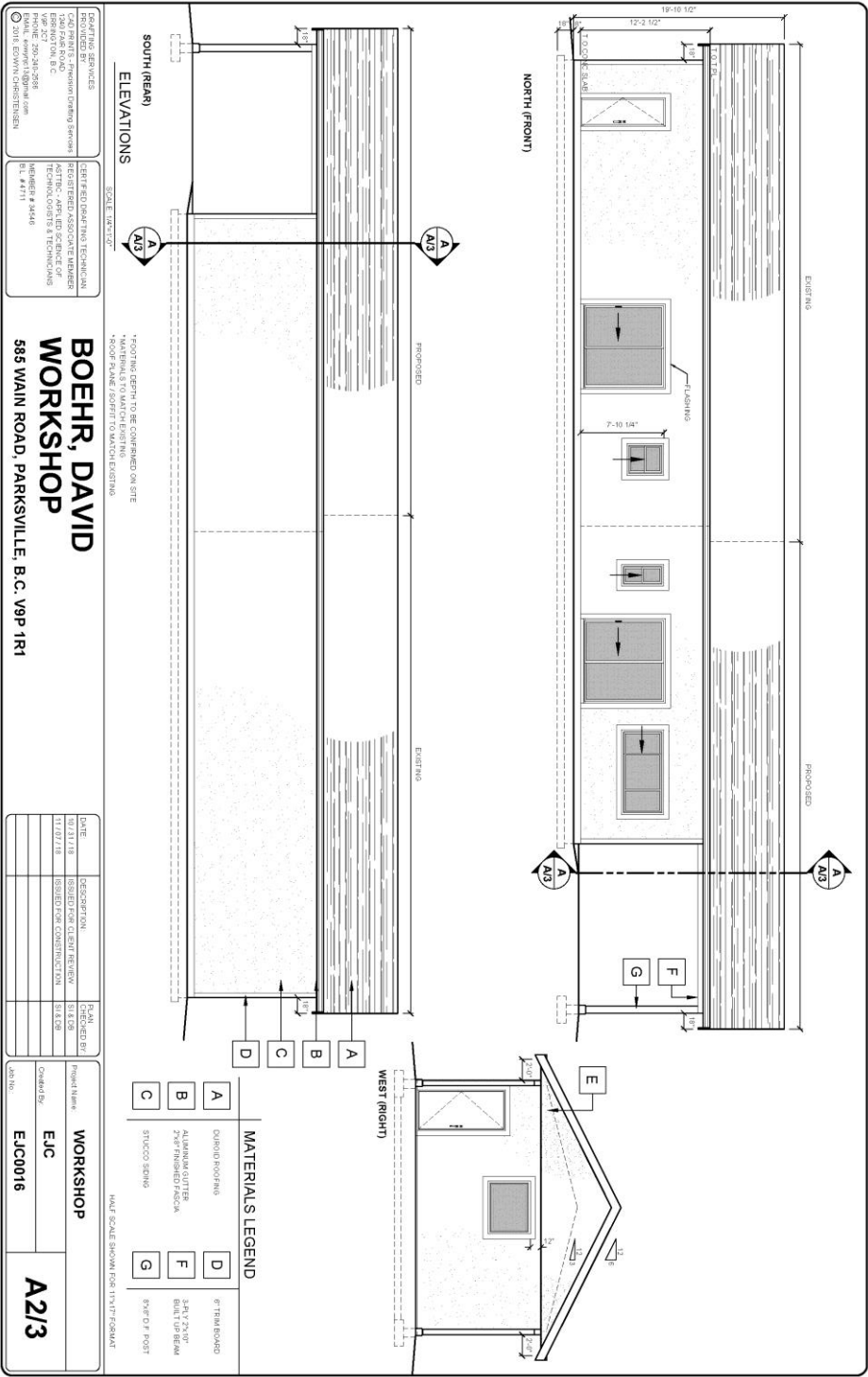
Conditions of Approval

1. The site is developed in accordance with the Site Plan prepared by Base Engineering and Oceanside Geomatics Land Surveying Ltd. dated May 30, 2019 and attached as Schedule 2.
2. The proposed development is in general compliance with the plans and elevations prepared by CAD Prints – Precision Drafting Services dated March 29, 2019 and attached as Schedule 3.
3. The subject property shall be developed in accordance with the recommendations contained in the Geohazard Assessment prepared by Base Geotechnical Inc. dated June 14, 2019.
4. The issuance of this Permit shall be withheld until the applicant, at the applicant’s expense, registers a Section 219 Covenant on the property title containing the Geohazard Assessment prepared by Base Geotechnical Inc., dated June 14, 2019 and includes a save harmless clause that releases the Regional District of Nanaimo from all losses and damages as a result of the potential hazard.
5. The property owner shall obtain the necessary permits for construction in accordance with Regional District of Nanaimo Building Regulations.

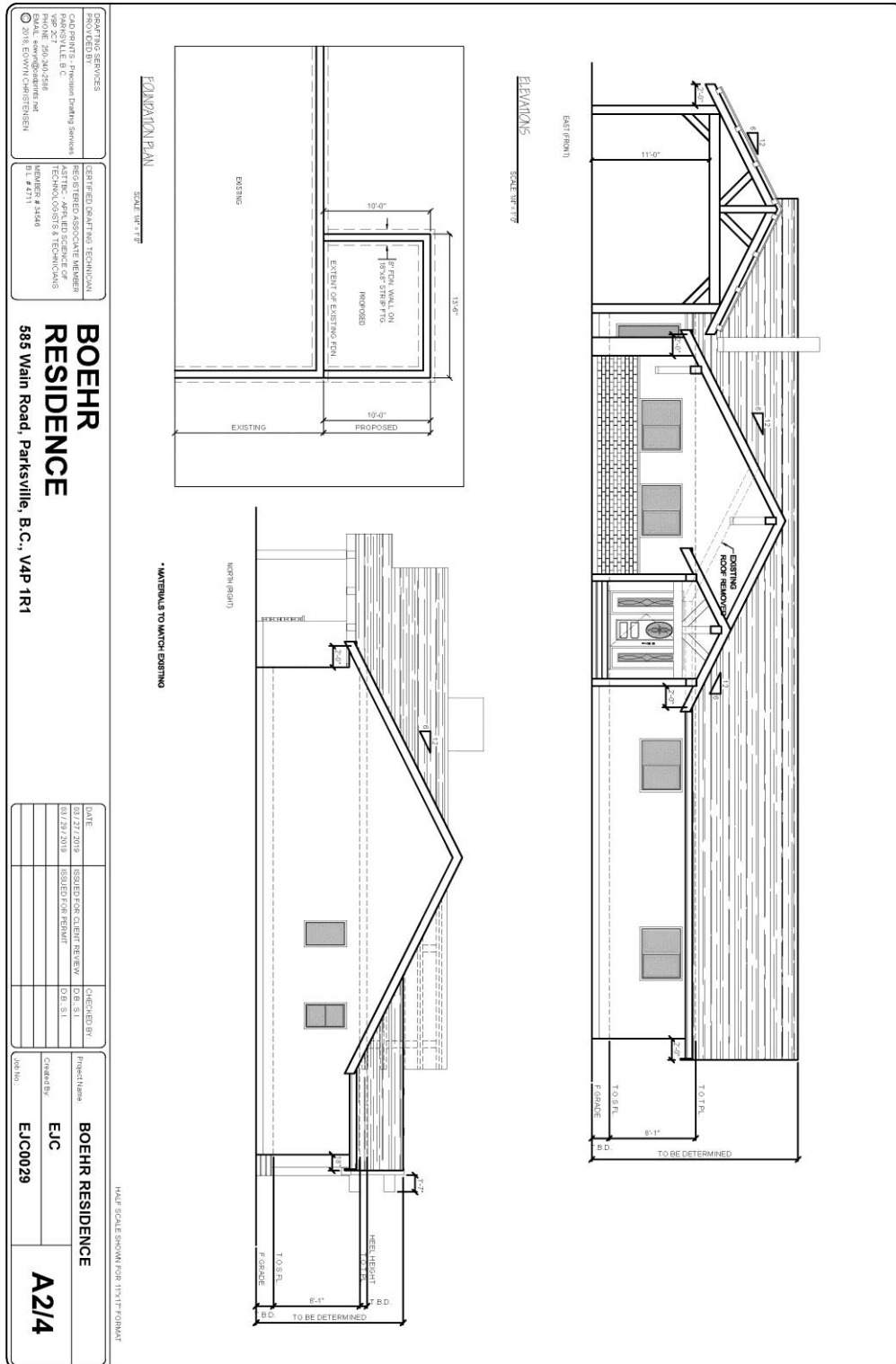
Schedule 2
Site Plan (Page 1 of 2)



Schedule 3
Building Plans and Elevations (Page 1 of 2)



Schedule 3 Building Plans and Elevations (Page 2 of 2)



TO: Electoral Area Services Committee **DATE:** July 9, 2019

FROM: Courtney Simpson **FILE:** 2400 20 NAV/AVI
Senior Planner, Long Range
Planning

**SUBJECT: OCP and Zoning Amendments for Nanaimo Airport
Draft Amendments for Consultation**

RECOMMENDATIONS

That the Board receive, for the purpose of community and stakeholder consultation, the draft Official Community Plan and zoning bylaw amendments for the Nanaimo Airport lands, as contained in Attachments 6 and 7.

SUMMARY

To consider draft Official Community Plan and zoning bylaw amendments for the Nanaimo Airport lands to facilitate development of the airport, as well as commercial uses complimentary to the airport on the portion of the property adjacent to the Trans-Canada Highway. Once received by the RDN Board, the draft Official Community Plan and zoning bylaw amendments will form part of the public consultation materials for this project.

BACKGROUND

The Regional District of Nanaimo (RDN) is currently undertaking a project to amend the Regional Growth Strategy (RGS), Electoral Area A Official Community Plan, 2011 (OCP), and Nanaimo Regional District Land Use and Subdivision Bylaw 500, 1987 (zoning bylaw) to support further development on the Nanaimo Airport lands in recognition of their role as a regional transportation hub and important part of the central Vancouver Island economy. At the January 22, 2019 meeting, the RDN Board endorsed the Terms of Reference including the Consultation Plan for the project.

The Nanaimo Airport is comprised of three parcels of land on 211 hectares owned by the Nanaimo Airport Commission (NAC), a federal not-for-profit corporation. A fourth, 33 hectare parcel north of Haslam Road is also owned by the NAC but is not within the federally designated Airport. An approximate 15 hectare area at the eastern boundary of the airport is located within the Cowichan Valley Regional District (Attachment 1 – Subject Property Map).

The RGS designates the area containing the airport terminal, hangars, parking and some undeveloped land as “Industrial”. The land fronting the Trans-Canada Highway and the ALR land including the runway, golf course, and parcel north of Haslam Road is designated “Resource Lands and Open Space” which is intended for resource use only. The Growth Containment Boundary is immediately across the Trans-Canada Highway from the Airport lands (Attachment 2 – Map of Current RGS Land Use Designation).

The current OCP designates the subject properties as “Nanaimo Airport” and does not contain any objectives or policies for this designation, instead supporting a future public process to add objectives and policies for these lands to the OCP (Attachment 3 – Current OCP Section 8.8 Nanaimo Airport and Attachment 4 – Map of Current OCP Land Use Designation). It has been a long-standing aim of the RDN to update the OCP and zoning for the Nanaimo Airport to reflect the current use of the airport and enable commercial uses not related to aeronautics.

Current RDN zoning of the subject properties does not reflect actual land uses. The zoning is Rural 4 or Agriculture 1, and are within Subdivision District 'D' (see Attachment 5 – Map of Current Zoning). The permitted uses in the Rural 4 zone are agriculture, aquaculture, home based business, produce stand, residential use, silviculture, and secondary suite. Permitted principal uses in the Agriculture 1 zone are farm use, agriculture and residential. The minimum parcel size in Subdivision District 'D' is 2.0 hectares, irrespective of the level of servicing available.

To regulate land use surrounding the Nanaimo Airport and support airport operations, Transport Canada could enact federal airport zoning regulations (AZR) and it is our understanding that the NAC is contemplating enacting an AZR in the near future. For the Board’s reference, AZRs restrict the heights of buildings, structures and objects (including natural growth, such as trees) on regulated land, and restrict land uses that could interfere with the safe operation of the airport. Legislation permitting for AZR’s is found in section 5.4 of the Aeronautics Act.

The RDN met with the NAC during development of the Terms of Reference and the draft OCP and zoning bylaw amendments. The NAC is aware of the recommendations in this report and the NAC has indicated that they do not support the proposed amendments to the OCP and zoning for the airport lands and are of the position that the RDN has no land use authority over these lands. In accordance with the direction in the Electoral Area A OCP and historical land use policy for the airport, the proposed bylaw amendments are supportive of the ongoing development of the airport as a regional economic hub and logistics centre. The proposed bylaws reflect the Nanaimo Airport Land Use Plan 2019 that was recently adopted by the NAC and reflect the legal authority granted to the RDN through the *Local Government Act*. Implementation of the OCP and Zoning amendments will continue the longstanding support that the RDN has provided to the NAC, respond to community input on the ongoing operation and expansion of the Nanaimo Airport and provide certainty for ongoing investment at the airport in accordance with their adopted Master Plan which guides the expansion and development of their airside and groundside lands.

Proposed Development

The NAC recently adopted the Nanaimo Airport Land Use Plan 2019, for development of their lands. The NAC Land Use Plan is comprised of their Strategic Plan (2019-2023), Master Plan, Land Use and Development Principles, and Land Use Development Plan 2019. The Land Use Development Plan includes a map with five land use zones, site plan, conceptual transportation network, and a set of objectives and general policies (Attachment 6 – Draft OCP Nanaimo Airport Designation). At this conceptual stage, details such as site servicing, building height, setbacks, landscaping, signage, and details of specific uses are not yet specifically addressed but will be guided by the objectives, policies and development principles of the Nanaimo Airport Land Use Plan.

In addition to development of airside commercial areas, an air terminal reserve area, the runway, and future aviation area (currently the Cottonwood Golf Course), the Nanaimo Airport Land Use Plan includes a concept for commercial development adjacent to the Trans-Canada Highway that is currently occupied in part by an Arbutus RV sales lot and parking areas.

The proposal is to amend the Regional District of Nanaimo RGS, OCP, and zoning bylaw to acknowledge current aviation uses and support development of the Nanaimo Airport lands. Specifically, the following amendments are proposed:

- ***Regional Growth Strategy*** – extend the Growth Containment Boundary to include the portion of the Nanaimo Airport lands proposed for groundside commercial uses.
- ***Official Community Plan*** – Amend the text in Section 8.8 – Nanaimo Airport to reflect current and proposed uses of the airport as shown in their Land Use Plan, and add objectives and policies (Attachment 6 – Draft OCP Nanaimo Airport Designation). An amendment to the OCP designation map is not required as it already designates the NAC – owned parcels as ‘Nanaimo Airport’.
- ***Zoning Bylaw*** – For the three parcels south of Haslam Road, change the current zoning from RU4 and AG1 to a new zone called ‘Nanaimo Airport 1’ and include two sub-areas based on the Nanaimo Airport Land Use Plan. Development Area A would include the area identified in the NAC Land Development Site Masterplan map as Airside, Airside Commercial, and Air Terminal Reserve. Development Area B is adjacent to the Trans-Canada Highway and would include the area identified in the NAC Land Development Site Masterplan as Groundside Commercial, but excluding parking areas (Attachment 7 – Draft Nanaimo Airport Zone).

For the parcel north of Haslam Road, no change is proposed to the AG1 zone designation.

Regional Growth Strategy Implications

To implement the proposed OCP and zoning amendments, the RGS will also require amendment to include the area adjacent to the Trans-Canada Highway within the Growth Containment Boundary. Currently, an Industrial Lands RGS designation covers the airside commercial, air terminal, and some of the groundside commercial area, but some of the area proposed for groundside commercial is designated as Resource Lands and Open Space which is intended for resource use only.

The process recommended is to engage with the NAC, public, and other stakeholders on the OCP and zoning amendments first, and when these amending bylaws are given first reading, begin the RGS amendment process. This will allow for details of the proposed development and the specific area designated for groundside commercial uses to be clarified first, to provide a basis for the RGS amendment. The need for an RGS amendment will be communicated throughout the public engagement process, but the actual amendment should be initiated later in the process.

Official Community Plan Implications

The current OCP designates the four NAC-owned parcels as “Nanaimo Airport” and does not contain any objectives or policies for this designation, instead supporting a future public process to add objectives and policies for these lands to the OCP (Attachment 3 – Current OCP Section 8.8 Nanaimo Airport and Attachment 4 – Map of Current OCP Land Use Designation).

Attachment 6 contains draft text for the OCP Nanaimo Airport Designation based on the Nanaimo Airport Land Use Plan and additional recommended content from the RDN. An OCP map amendment is not required as the OCP currently designates the four parcels owned by the NAC as “Nanaimo Airport”.

Land Use Implications

A number of land use considerations for the proposed development include: aquifer protection; form and character of development; existing Agricultural Land Commission covenant; future use of the parcel north of Haslam Road; height; fire protection; parking; site servicing; transit exchange; and highway access upgrades.

Aquifer Protection and Form and Character of Development: Aquifer protection and form and character of development are proposed to be addressed through a Memorandum of Agreement with the NAC. A Memorandum of Agreement could also include other related land use impacts such as a process for addressing noise complaints.

Existing Agricultural Land Commission Covenant: An existing covenant, in favour of the Agricultural Land Commission, that restricts use of the land to airport-related commercial and light industrial, is registered against Lot 2 (Attachment 1 – Subject Property Map). OCP and zoning bylaw amendments not consistent with the covenant should not be adopted by the RDN. The NAC is working with the Agricultural Land Commission to address the use restrictions in the covenant.

Parcel north of Haslam Road: The NAC-owned parcel north of Haslam Road is not within the boundary of the federal airport designation as it was not part of the original airport lands. The Nanaimo Airport Land Use Plan identifies the parcel as “Agriculture / Future Aviation” and navigation lights for the airport are currently sited on this parcel. The draft zoning bylaw amendment makes no change to the zone for this parcel, currently AG1. Alternatively, the parcel could be zoned as “Nanaimo Airport 1”, but further discussion with the NAC is needed on this topic.

Height: Suggested heights in the draft zoning bylaw are within the capacity of available firefighting apparatus. Greater heights can be considered if firefighting can be provided. The draft bylaw includes maximum height in Development Area B of ‘10.0 m or 3 storeys’ which is consistent with the Nanaimo Airport Land Use Plan. Hotel use is permitted a maximum height

of '15.0 m or 4 storeys' anticipating a potential future need. Any maximum heights in the zone for the subject property could be further restricted by flight path requirements.

Fire Protection: The subject properties are within the Cassidy Fire Protection District where the Cranberry Fire Department is contracted by the RDN to provide firefighting services. While the Cranberry Fire Department does not have a ladder truck, the 10.0 metre building height is within their firefighting capabilities. A building of 15.0 m may require a ladder truck for firefighting, which is accessible through automatic aid with the North Cedar Fire Department. To ensure sufficient water is available for firefighting, on site water storage may be required.

Parking: The zoning bylaw includes parking standards that would apply to commercial development on the Nanaimo Airport lands, but not the terminal parking provided for airport staff or travelers flying out of the airport, which is integral to the airport operations and would not be regulated by the RDN. Parking is included in the list of permitted uses in Development Area B to support the potential for commuter parking related to a transit exchange.

Site Servicing: The existing airport development is serviced by onsite water and wastewater disposal. It is understood that there is substantial future capacity and this should be confirmed through development of a Memorandum of Agreement related to aquifer protection, and at the building permit stage. The draft OCP land use designation includes policy 8.8.7 encouraging the NAC to consider coordinating shared wastewater treatment with the Cassidy Village Centre, a potential opportunity that has been discussed for a number of years.

Transit Exchange: The Nanaimo Airport Land Use Plan includes planning and development of a multi-modal transportation hub as a guiding principal. A transit exchange will be contemplated in a future project.

Highway Access Upgrades: Commercial development at the Nanaimo Airport may require upgrades at the intersection of the Trans-Canada Highway and Spitfire Road, and a new second entrance to the south as shown on the NAC's land use plan would require approval from the Ministry of Transportation and Infrastructure.

Environmental Implications

Environmental sensitivities identified on the subject property include the underlying aquifer and habitat of the Coastal Vesper Sparrow. A Memorandum of Agreement between the NAC and RDN should be developed to address aquifer protection. Protection of the Coastal Vesper Sparrow nesting habitat should be addressed with the Canadian Wildlife Service.

Intergovernmental Implications

The Terms of Reference, including a consultation plan for the project, was adopted by the Board on January 22, 2019. The consultation plan includes working with NAC, referrals to the adjacent regional district and municipality, First Nations, and relevant provincial and federal agencies, including the NAC. (Attachment 8 – Project Terms of Reference)

Public Consultation Implications

The Terms of Reference (Attachment 8) for the project outlines steps in the consultation process, including both in person and on-line methods of obtaining feedback, as well as both broad consultation such as a public open house, and targeted key stakeholder engagement. Communication with the NAC will continue throughout the project. Due to the time taken to seek

further input from the NAC before finalizing this report, the launch of public engagement is four months behind the schedule in the Terms of Reference. An updated schedule is provided in within Attachment 8 – Project Terms of Reference.

ALTERNATIVES

1. To approve the draft OCP and zoning bylaws attached to this report and proceed with the Nanaimo Airport Planning Bylaw Updates Project.
2. To amend the draft OCP and/or zoning bylaws attached to this report and proceed with the Nanaimo Airport Planning Bylaw Updates Project.
3. To not approve the draft OCP and zoning bylaws attached to this report and provide alternate direction.

FINANCIAL IMPLICATIONS

The resources needed for this project are largely staff time. The 2019 budget includes an amount for advertising and community engagement such as facility rentals and printed materials. There will be legal fees related to bylaw review.

Approximately 0.5 full-time staff equivalent from Strategic and Community Development and mapping resources will be assigned to the project through to completion. All community, stakeholder and First Nations engagement, along with bylaw drafting, communication materials drafting and design will be completed by RDN staff.

STRATEGIC PLAN IMPLICATIONS

The Board's 2019-2022 Strategic Plan recognizes "economic coordination" and this project will advance the goal to "set the table to enable diverse economic opportunities across the region." The process balances the local matter of land use with the regional provision of air transportation. Goals of other focus areas of the Strategic Plan for "environmental stewardship" and "people and partnerships" will also be advanced through this project.



Courtney Simpson
csimpson@rdn.bc.ca
June 28, 2019

Reviewed by:

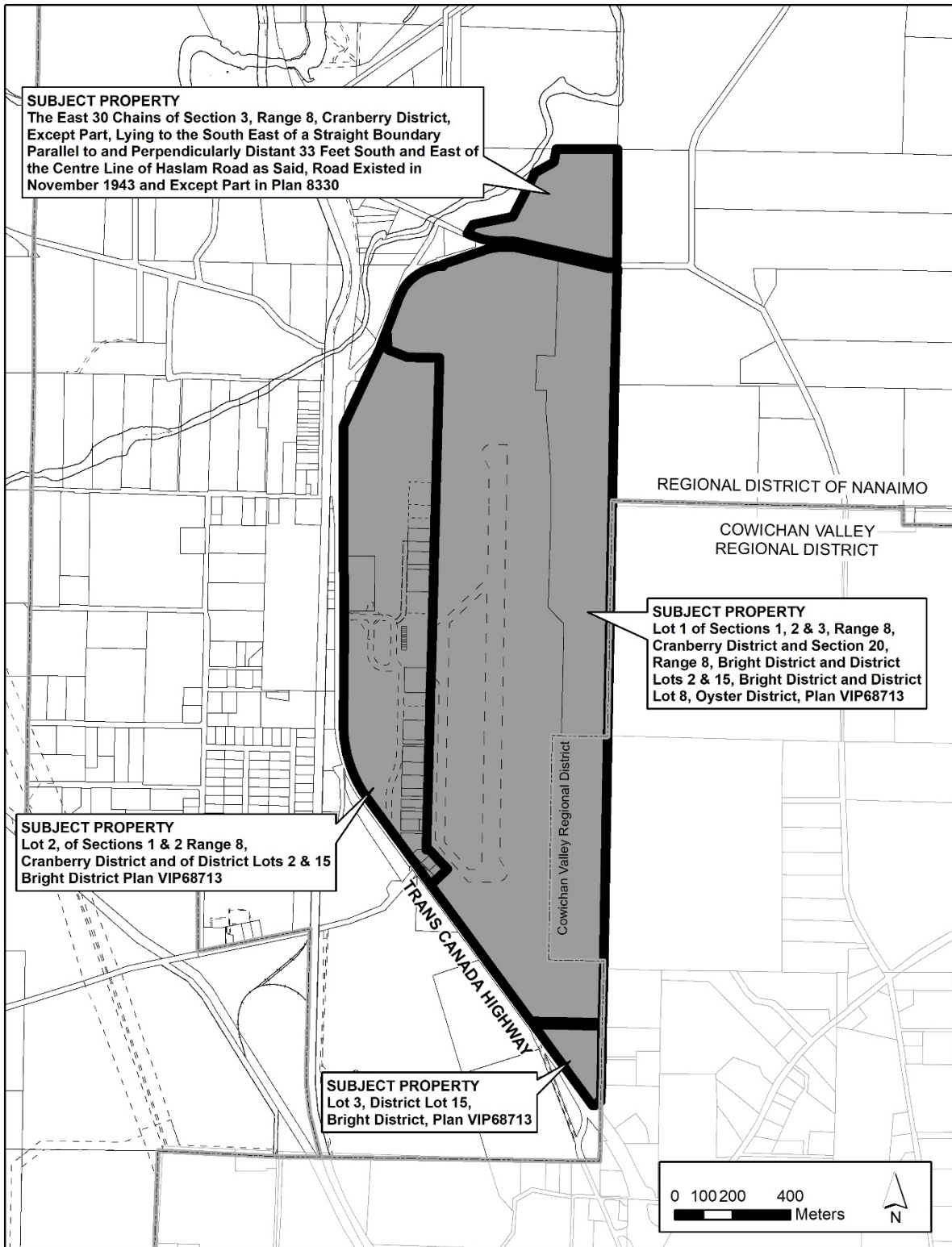
- K. Fowler, Manager, Long Range Planning and Energy & Sustainability
- G. Garbutt, General Manager, Strategic & Community Development
- P. Carlyle, Chief Administrative Officer

Attachments

1. Subject Property Map
2. Map of Current RGS Land Use Designation
3. Current OCP Section 8.8 Nanaimo Airport
4. Map of Current OCP Land Use Designation
5. Map of Current Zoning
6. Draft OCP Nanaimo Airport Designation
7. Draft Nanaimo Airport Zone
8. Project Terms of Reference

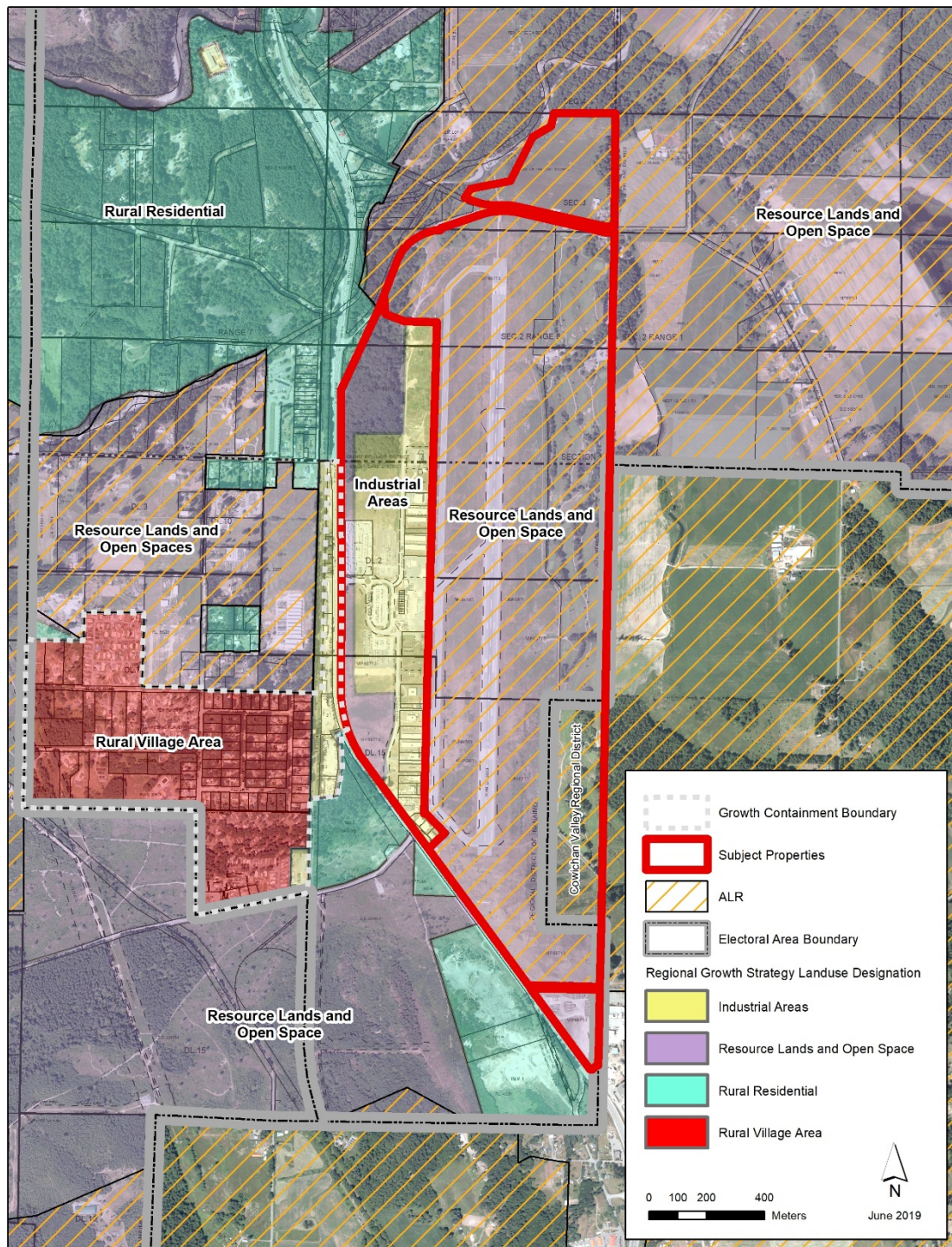
ATTACHMENT 1

SUBJECT PROPERTY MAP



ATTACHMENT 2

MAP OF CURRENT RGS LAND USE DESIGNATION



8.8 Nanaimo Airport

The Nanaimo Airport is located on approximately 211.0 ha of land situated in the south west corner of Electoral Area 'A'. It is a regional facility, owned and operated by the Nanaimo Airport Commission (NAC) with a primary catchment area extending from approximately Qualicum Bay in Electoral Area 'H' to the north and the City of Duncan to the south.

Recent and ongoing upgrades including a runway extension, installation of navigational equipment, and a major terminal upgrade are expected to improve airport reliability and create opportunities for increased passenger service.



The airport lands are located above the Cassidy Aquifer which is known to be highly vulnerable to surface contamination. Aquifer protection is of utmost importance to plan area residents. Therefore the community wishes to ensure that all activities on airport lands are conducted in a manner which minimizes the risk of groundwater contamination.

In response to these concerns, the RDN shall strongly encourage the NAC, when proposing activities on airport lands which have the potential to impact the Cassidy Aquifer, to take proactive aquifer protection measures such as the preparation of a hydrogeological assessment and conducting work under the supervision of a Hydrogeologist or qualified engineer to ensure that the aquifer is protected against the impacts of development.

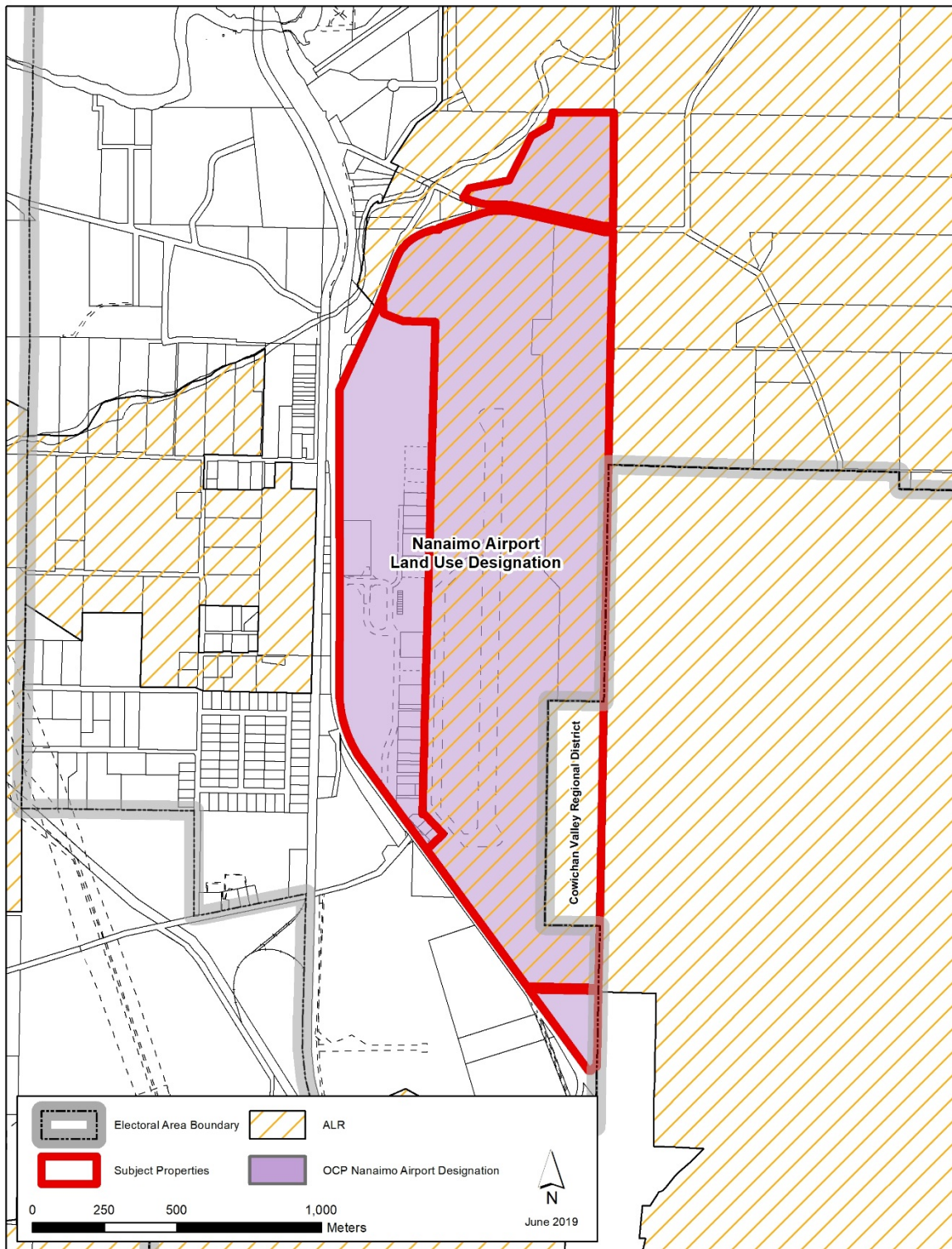
Throughout the OCP review process there were numerous discussions regarding how this plan should address the Nanaimo Airport Lands. This plan recognizes there are unresolved issues surrounding the Nanaimo Airport that are of regional significance which go beyond the scope of this plan and require input from stakeholders representing a cross section of regional views.

This plan supports the establishment of a process to identify and respond to the community's concerns with respect to the Nanaimo Airport. This process must include opportunities for the public and other stakeholders to provide input. It is recognized that this plan may be amended at a later date in response to the outcome of that process. Should an amendment to the OCP be considered in response to that process, the Electoral Area 'A' OCP Committee should be consulted and have an opportunity to provide input.

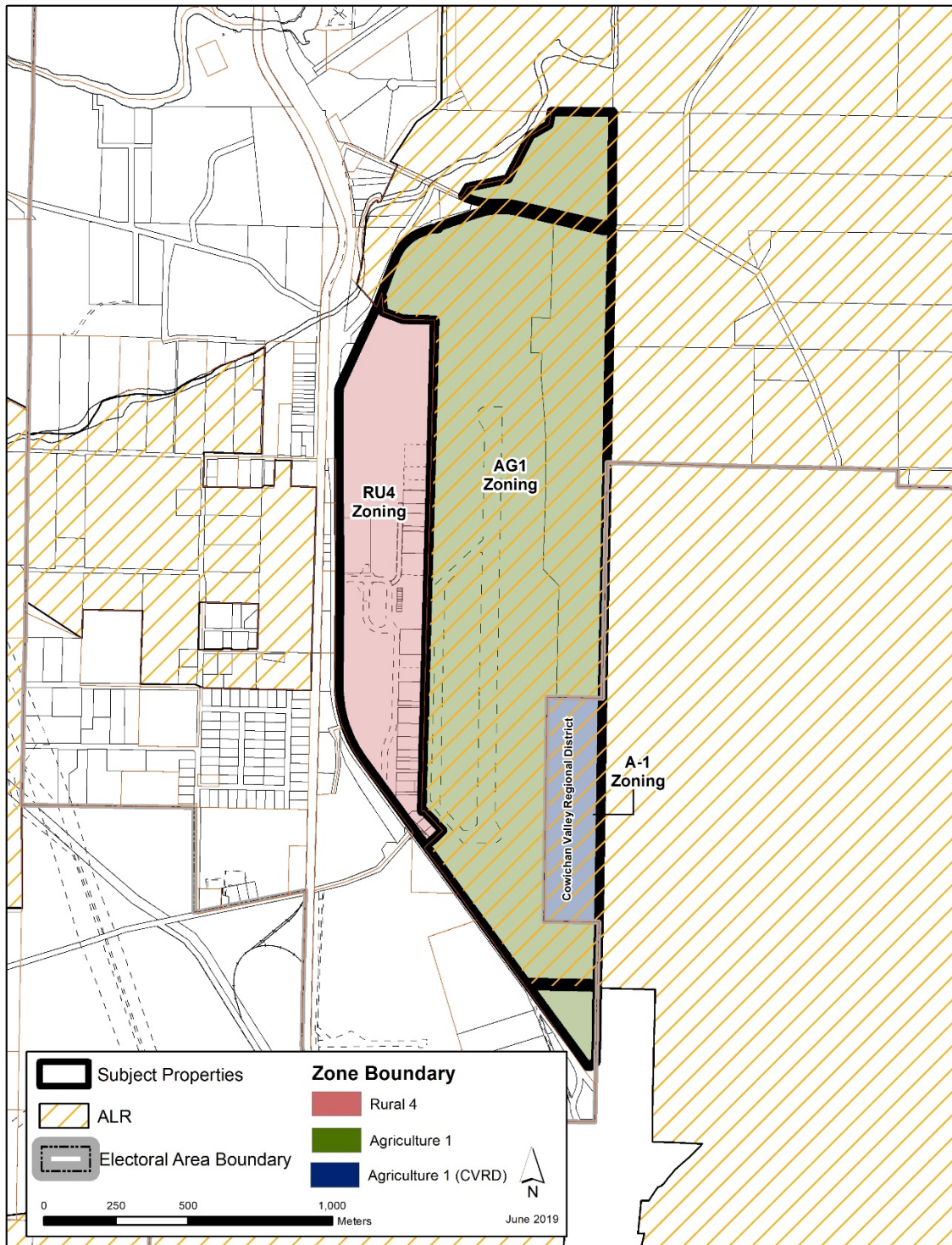
The RDN has no jurisdiction over aeronautic and aeronautic-related uses and uses which are considered vital components of airport operations. The RDN has jurisdiction over uses which are not related to and are not vital to the operation of an airport. While the determination of these matters is ultimately one that would be made either by reaching an agreement with the Nanaimo Airport Commission through the community planning process supported by this plan, or failing that, by the courts, generally speaking the RDN would expect to be able to control those uses which do not contribute to the functioning of the airport as a facility for air transportation."

ATTACHMENT 4

MAP OF CURRENT OCP LAND USE DESIGNATION



ATTACHMENT 5
MAP OF CURRENT ZONING



ATTACHMENT 6

DRAFT OCP NANAIMO AIRPORT DESIGNATION

8.8 Nanaimo Airport

The Nanaimo Airport is comprised of three parcels of land on 211 ha owned by the Nanaimo Airport Commission, a federal not-for-profit corporation. A fourth, 33 ha parcel north of Haslam Road is also owned by the Nanaimo Airport Commission and within the OCP Nanaimo Airport designation, but not within the federally designated Airport. An approximately 15 ha area of the airport at the eastern boundary is located within the Cowichan Valley Regional District.



The Nanaimo Airport Commission's Nanaimo Airport Land Use Plan, 2019 establishes objectives, policies, development principals, and land use zones to guide development of the airport lands in support of the economic and environmental viability of airport, and the region, and support the airport's role as a regional transportation facility.

The airport lands are located above the Cassidy Aquifer, which is highly vulnerable to surface contamination. Aquifer protection is of utmost importance.

Objectives and Policies

Section 8.8	Policy/Objective
Objective 8.8.1	Recognize the importance of the Nanaimo Airport as an economic and transportation hub for the Regional District of Nanaimo and Vancouver Island.
Policy 8.8.1	The Lands owned by the Nanaimo Airport Commission that are shown on Map No. 3 shall be designated as Nanaimo Airport Lands.
Policy 8.8.2	On Nanaimo Airport Lands outside the ALR, the RDN supports airport use, including airport use described in the Nanaimo Airport Land Use Plan contained within Schedule C of this OCP. The RDN also contemplates that a portion of the non-ALR lands within the Nanaimo Airport Lands designation may be zoned to allow other uses the RDN determines are compatible with the operation of an airport on the Nanaimo Airport Lands. .
Policy 8.8.3	On the Nanaimo Airport Lands within the ALR, Agriculture use is supported.

Section 8.8	Policy/Objective
Policy 8.8.4	<p>The RDN encourages the NAC to consult with the community and the RDN to address specific issues related to airport expansion and development of light industrial and commercial uses including the following:</p> <ul style="list-style-type: none"> a. establishing and regulating flight paths and hours of usage to minimize disturbance to nearby residents; b. communication process for addressing noise complaints; c. mitigating impact of development on groundwater, surface water and storm water management. d. traffic impacts; and e. visual character.
Policy 8.8.5	Continued operation of the Cottonwood Golf Course within the ALR in this designation is supported.

Section 8.8	Policy/Objective
Objective 8.8.2	Protect the Cassidy aquifer, acknowledge the sensitivities associated adjacent ALR lands, streams, and surrounding residential areas, and avoid or mitigate any negative impacts from development.
Policy 8.8.6	The NAC is encouraged to provide a high standard of wastewater and storm water management and treatment to protect the sensitive aquifer.
Policy 8.8.7	The NAC is encouraged to consider options for coordinating shared wastewater treatment with the Cassidy Village Centre, including consideration of connection to DPPCC.
Policy 8.8.8	The NAC is encouraged to continue its groundwater monitoring program for both water levels and water quality, to share groundwater monitoring data with the Province and the RDN, and ensure that new development does not negatively impact the aquifer.

ATTACHMENT 7
DRAFT NANAIMO AIRPORT ZONE

3.4.xxx.xx NANAIMO AIRPORT

AR1

Permitted Principal Uses

For clarity, by describing “airport” as a permitted use in this zone, the RDN does not intend to imply that it has the constitutional jurisdiction to regulate the location or operation of airports or the construction of airport buildings and structures. The listing of “airport” as a permitted use is also not intended to imply that the RDN is “allowing” a non-farm use on the portion of the lands that are in the Agricultural Land Reserve. Instead, “airport” is listed as a permitted use in this zone in recognition that the Nanaimo Airport Commission operates an airport on the lands and to give context to the provisions below relating to site coverage that require the coverage by airport buildings and structures to be taken into account in determining whether additional buildings and structures for uses other than airport use are permitted.

Development Area A - Airport

- a) airport
- b) agriculture

Development Area B - Airport Commercial

- a) airport
- b) convenience store
- c) fast food outlet
- d) gas bar
- e) gasoline service station
- f) hotel
- g) light industry
- h) neighbourhood pub
- i) office
- j) parking
- k) restaurant
- l) retail store
- m) tourist store
- n) tourist information booth
- o) transit exchange

Maximum Height of Buildings and Structures

Height:

hotel use: 15.0 m or 4 storeys, whichever is less

all other uses: 10.0 m or 3 storeys, whichever is less

Maximum Parcel Coverage

Parcel coverage: 60% including impervious surfaces.

A building or structure (including impervious surfaces) that is not intended to be used for airport purposes must not be constructed or placed on a parcel if the parcel coverage of all buildings and structures (including impervious surfaces) on that parcel, including those used or intended to be used for airport purposes, already exceeds 60% or if the addition of that building or structure would cause the parcel coverage of all buildings and structures (including impervious surfaces) on the parcel, including those used or intended to be used for airport purposes, to exceed 60%.

Minimum Setback Requirements

Front lot lines	10 metres
All other lot lines	5 metres

except where any part of a parcel is adjacent to or contains a watercourse, then the regulations in Section 3.3.8 shall apply.

Off Street Parking Requirements

Parking shall be provided as set out under Schedule '3B' Off-Street Parking & Loading Spaces.

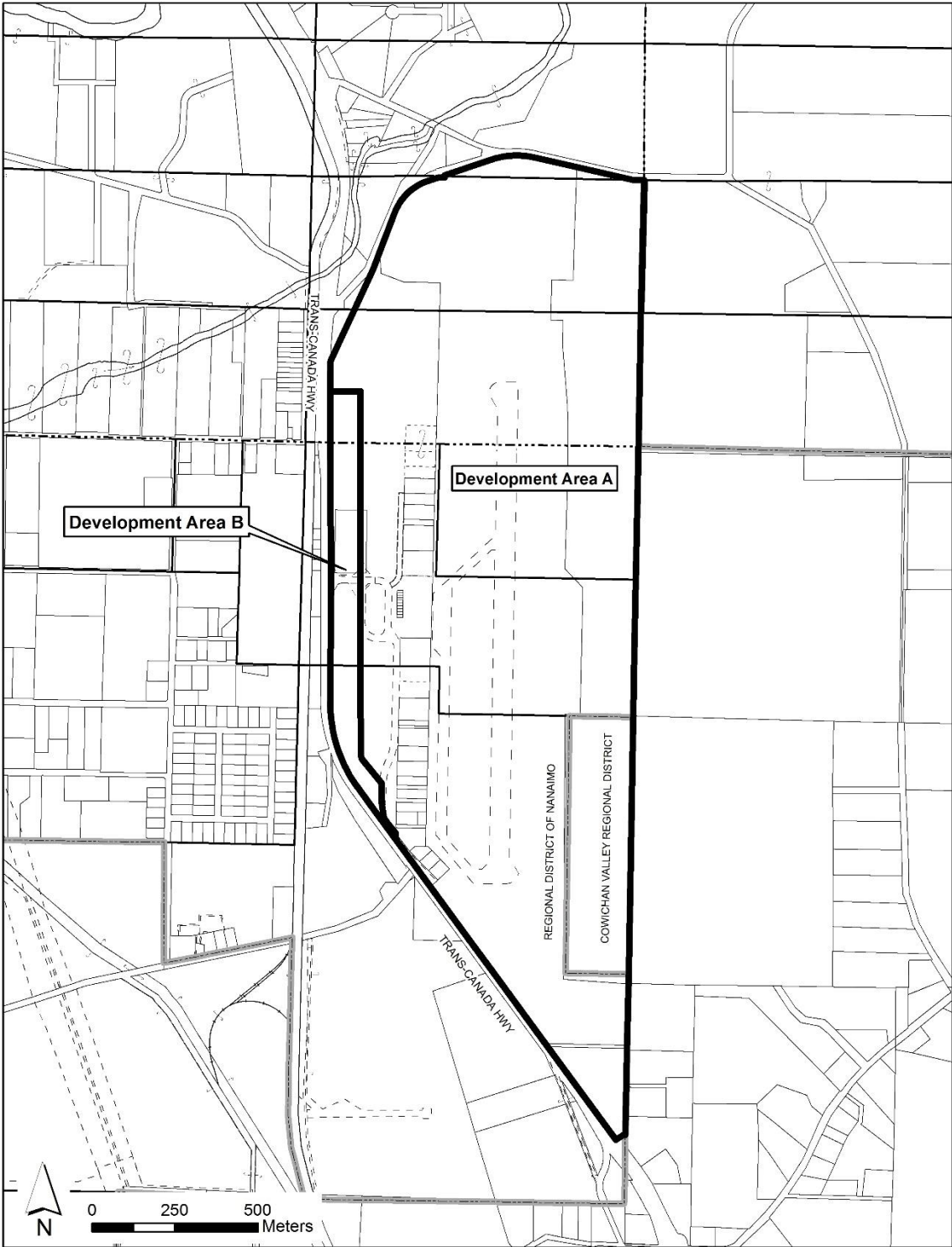
In addition to the requirements of Schedule '3B' Off-Street Parking & Loading Spaces, the following bicycle parking is required:

- a) 1 space per 475 m² commercial floor area adjacent to primary building entrances.

Other

Except as provided above for the purposes of calculating parcel coverage limits for the construction of a building or structure not intended to be used for airport purposes, the above restrictions in this zone on height, parcel coverage, minimum setbacks and off-street parking do not apply to buildings or structures that are used or intended to be used for airport purposes.

**Nanaimo Airport 1 Zone
Schedule 1 Development Areas A and B**



PROJECT TERMS OF REFERENCE

Nanaimo Airport Planning Bylaw Updates



Terms of Reference

December 6, 2018

Endorsed by RDN Board January 22, 2019

Timeline dates updated June 13, 2019

Introduction

The purpose of this project is to acknowledge current aviation uses and support the growth and development of the Nanaimo Airport lands by amending the Regional Growth Strategy (RGS), Electoral Area A Official Community Plan (OCP) and the Land Use and Subdivision Bylaw 500 (zoning bylaw).

Since at least 2003 the Regional District of Nanaimo (RDN) and the Nanaimo Airport Commission (NAC) have been in discussion to formalize current aeronautics-related uses in RDN land use bylaws and to create policies and regulations for future uses on the Nanaimo Airport lands that are not related to aeronautics and operation of the airport. During the most recent review of the Electoral Area A OCP, it was decided to initiate a separate process to adopt a land use plan for the Nanaimo Airport lands within the OCP and zoning bylaw, and this separate process began in 2011. This Terms of Reference outlines the current phase in the ongoing project towards adoption of OCP and zoning bylaw amendments for the Nanaimo Airport lands.

1. Background

The Nanaimo Airport is located on approximately 211 hectares (ha) of land situated in the southwest corner of Electoral Area A (see figure 1). Jurisdiction over land use is shared between the RDN and the NAC, and depends on the nature of specific uses. Use and development of the airport lands in relation to aeronautics is under exclusive federal authority through the NAC and not subject to the regulatory control of the RDN, however, uses not related to aeronautics are subject to RDN bylaws.

The Nanaimo Airport lands are almost entirely within the RDN; a small portion at the south end of the property is within the Cowichan Valley Regional District. In 1942, the Department of National Defense purchased the land on which the Airport is situated, and constructed an airstrip making it war-ready. In 1992, the management of the Airport was transferred to the NAC, a federally registered not for profit authority, to which ownership of the lands was also transferred in 1996. A more detailed history of the airport is found on the Nanaimo Airport website at: www.nanaimoairport.com/business/history.

Until 1997, the Airport property was entirely in the Agricultural Land Reserve (ALR). The Airport received approval from the Agricultural Land Commission to exclude approximately 50 ha from the ALR to allow for the addition of 'airport related' uses along the portion of the airport adjacent to the Island Highway. The Commission also granted 'special use status' for a 40 ha parcel for commercial/recreational use (the golf course) to the east of the airport runway.

Regional Growth Strategy, OCP and Zoning

The Regional Growth Strategy (RGS) designates the area containing the airport terminal, hangars and associated parking as “Industrial”, and the ALR land including the runway and golf course, and the land fronting the Island Highway as “Resource Lands and Open Space” (see figure 1).

The 2011 OCP designates these lands as “Nanaimo Airport” and does not contain any objectives or policies for this designation, instead supporting a public process to add objectives and policies for these lands to the OCP in the future.

Current zoning of the Nanaimo Airport lands does not reflect actual land uses. The lands are zoned Rural 4 or Agriculture 1, and are within Subdivision District 'D' (see figure 2). The permitted uses in the Rural 4 zone are: agriculture, aquaculture, home based business, produce stand, residential use, silviculture, and secondary suite. Permitted principal uses in the Agriculture 1 zone are farm use, agriculture and residential. The minimum parcel size in Subdivision District 'D' is 2.0 ha irrespective of the level of servicing available.

Past work on OCP and Zoning Bylaw Amendments

The NAC has been pursuing development of their non-ALR land adjacent to the Island Highway for some time, and first referred a draft of their “Nanaimo Airport Master Plan” to the RDN for comment in 2003, which was subsequently finalized in 2004. At that time, the RDN drafted OCP and zoning bylaw amendments for the lands but these were not adopted and the earlier zoning remains in place. Since then, the NAC has continued to develop and refine their land use plan, and published a map on their website at www.ycdaviationgateway.ca, which provides important context and background for this project.

Non-aviation use of the Nanaimo Airport lands were again considered during the Electoral Area A OCP Review from 2008-2011, but issues and community concern over land use jurisdiction of the Nanaimo Airport lands could not be resolved in the time frame for that process, and it was decided to initiate a separate, public engagement process following adoption of the OCP.

Immediately following the adoption of the 2011 OCP, the RDN engaged CitySpaces Consulting to conduct a jurisdictional review of comparable airports in BC and to provide advice to the RDN on an appropriate process to include the Airport lands in the Area A OCP based on feedback from consultations with key stakeholders, Area A residents and the general public. The “Nanaimo Airport Land Use Final Report” dated June 2012 presents the results of their review and consultation. Based on the recommendations in that report, the RDN and NAC proceeded to develop a memorandum of understanding (MOU) which is still ongoing.

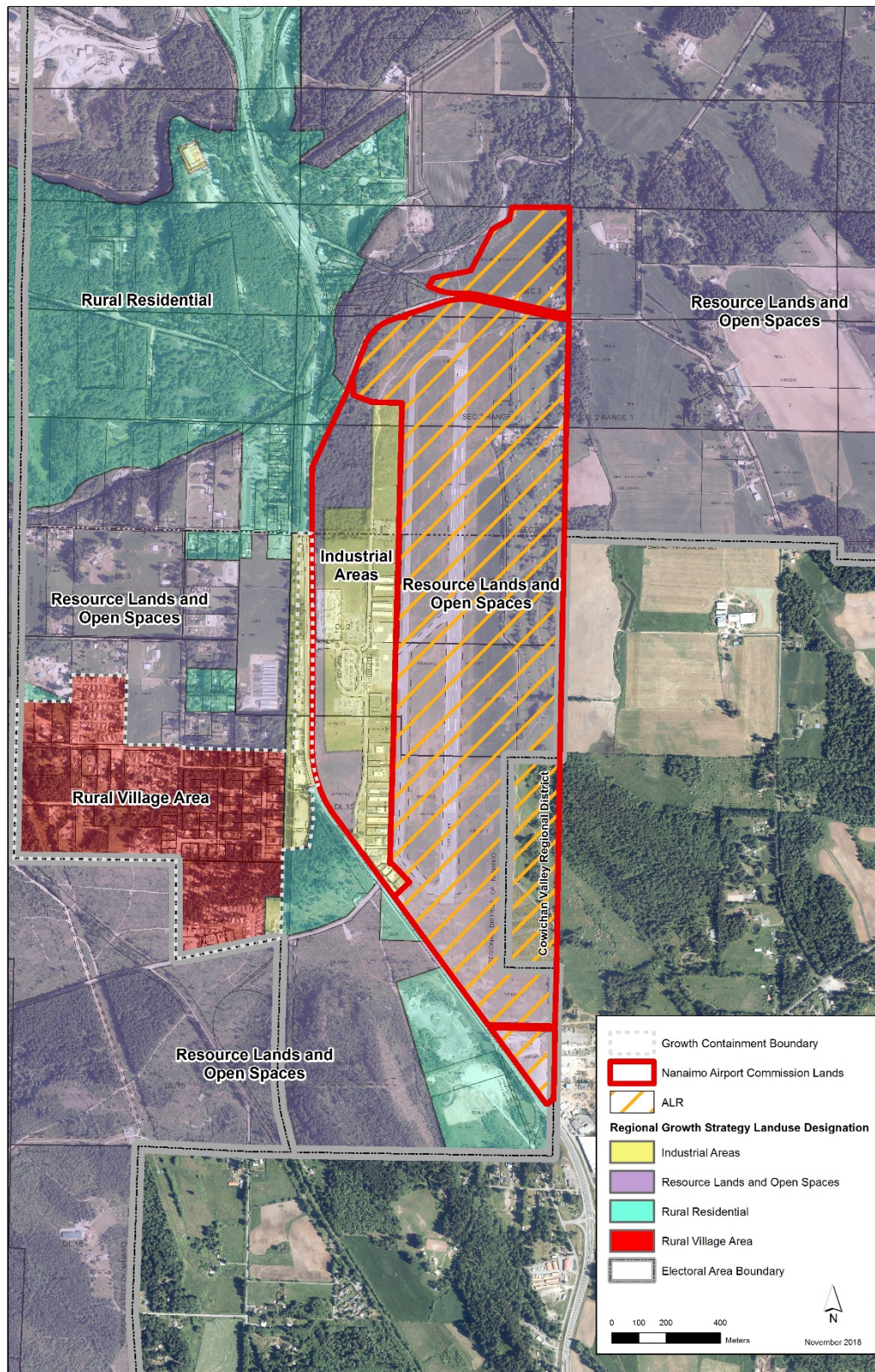


Figure 1 Nanaimo Airport Commission Lands and Current Regional Growth Strategy Designations

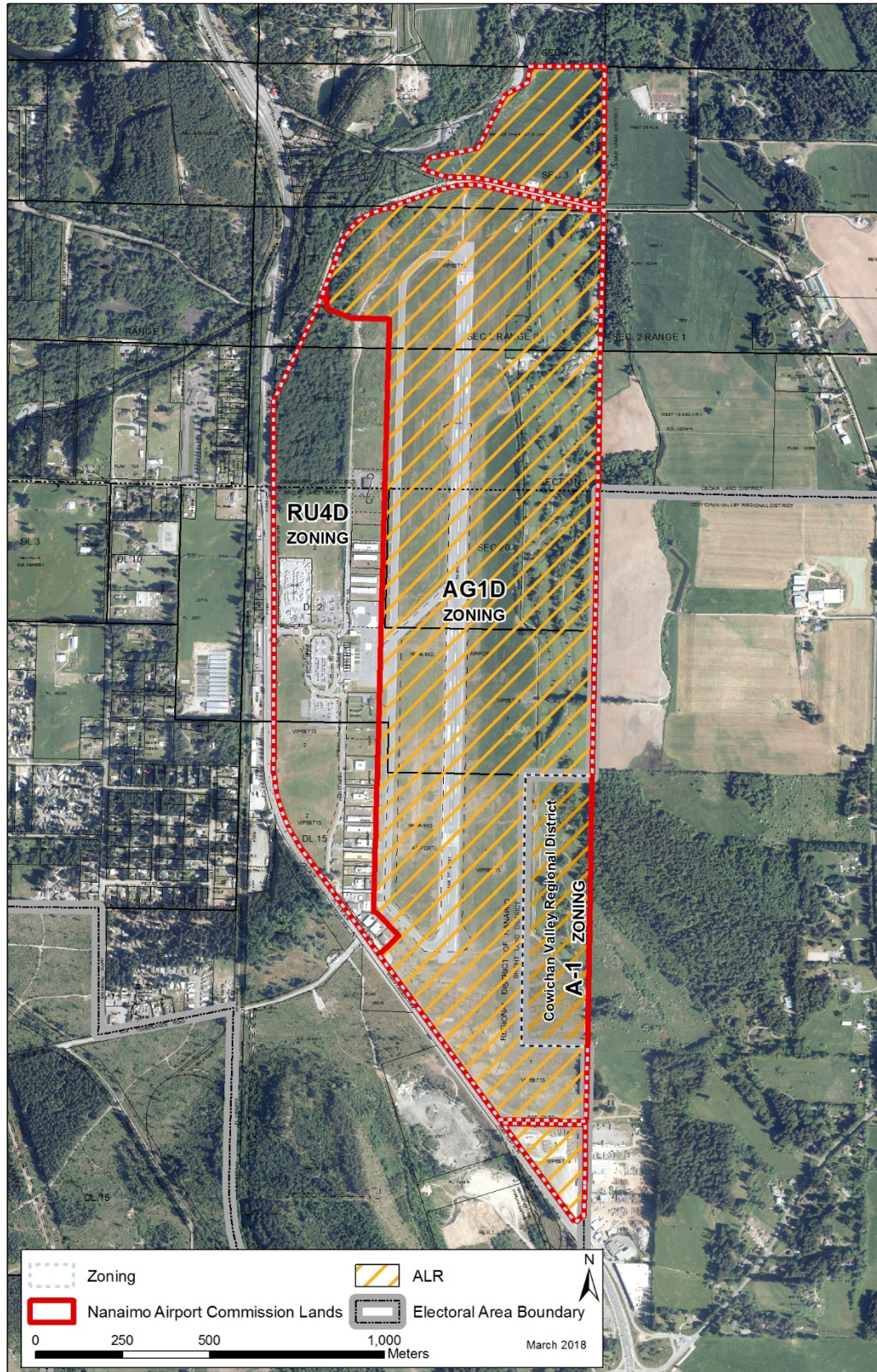


Figure 2 Nanaimo Airport Commission Lands and Current Zoning

1.1. Goal

To amend the RGS, OCP and zoning bylaw for the Nanaimo Airport lands to acknowledge current aviation use and to create policies, objective, guidelines and regulations for non-aviation related uses.

1.2. Objectives

- Support the growth of the Nanaimo Airport as a regional transportation hub and an important part of the central Vancouver Island economy.
- Consider the proposed land uses on Nanaimo Airport lands within the local and regional land use context.
- Ensure that development on the Nanaimo Airport lands is consistent with the vision, principles and goals of the OCP.
- Build on previous work to update RDN planning bylaws for the Airport lands.
- Ensure policies, regulations and guidelines are in place to protect the Cassidy aquifer, and other ecologically important habitats and features.

2. Scope of Work

The scope of this project includes stakeholder and public engagement on the existing planning work done for the Nanaimo Airport lands by the NAC and the RDN, and adoption of RGS, OCP and zoning bylaw amendments so that development of non-aviation uses on the Nanaimo Airport lands can proceed. The following specific activities are included in the project scope:

- Amendments to the RGS, OCP and zoning bylaw for the Nanaimo Airport lands.
- Preparation of draft RGS, OCP and zoning amendments for consultation.
- Development permit area designations for aquifer protection, form and character, and consideration of other development permit area designations.
- Consideration of zoning bylaw amendment for the golf course land.
- OCP amendments outside of the Nanaimo Airport lands to preserve the flight path.

In consideration of the stakeholder and public engagement that has already occurred for this project over the past several years, the scope does not include any visioning-style work for the use of these lands. Instead, this project builds on previous work. As well, continued development of the MOU with NAC is not within the scope of this project and will proceed separately.

3. Tasks and Timeline

The timetable below is based on the project scope as outlined in this Terms of Reference. Any proposed changes to the scope should be evaluated against the timeline to understand how the timeline may be impacted. The timeline for presentation of draft bylaws to the EASC depends on the timeline of the Nanaimo Airport for providing necessary information on their land use plan to ensure that the draft bylaws are consistent with their plans.

Project Timeline		
(dates updated June 13, 2019)		
	MILESTONE	TARGET DATE (2019)
INITIATE (3 months)	Terms of Reference and Engagement Plan to EASC	January 8 EASC
	Terms of Reference and Engagement Plan endorsed by Board	January 22 Board
	Liaison with Nanaimo Airport and NAC Board	Ongoing
	Draft for consultation reviewed by EASC	July 9 EASC
	Draft for consultation endorsed by Board	July 23 Board
	News Release and other communications	July – August
	First Nations and stakeholder outreach	July – August
CONSULT (3 months)	Office Hours in Cassidy (3 days)	September - October
	Stakeholder meetings	September - October
	Online survey	September - October
	Public open houses / meetings	September - October
ADOPT (4-5 months)	Report to EASC for OCP and zoning 1 st and 2 nd reading	November 26 EASC
	Report to Board for OCP and zoning 1 st and 2 nd reading	December 10 Board
	Bylaw referral to agencies and First Nations	December 11
	Public Hearing	January, 2020
	Report to COW for RGS 1 st reading	January, 2020
	OCP and zoning 3 rd Reading and Adoption	February, 2020
	Updates to website and follow up public communication	February, 2020
	Adoption of RGS amendment	April, 2020

4. Roles and Responsibilities

Staff: to provide project management and professional advice, organize, coordinate and facilitate public consultation, draft and finalize the bylaw amendments.

Electoral Area Director: to provide situational leadership throughout the project by chairing and/or presenting at public events, and reporting to the EASC and Board on the project as required.

EASC: to review the project from a regional and sub-regional perspective and make recommendations to the RDN Board on bylaw amendments which may result.

RDN Board: to consider recommendations from the EASC regarding bylaw amendments

Member Municipalities: to consider proposed RGS amendments.

5. Stakeholders and Public Engagement

The RDN is committed to ongoing and meaningful public consultation, and recognizes that not only do the people who live with the impacts of any of our plans, policies, programs or projects expect to share in the decision-making process but that better decisions are made through a shared approach¹.

The plan for community engagement for this project is based on the following principals:

Inclusiveness – engage the widest possible audience through multiple consultation opportunities

Timeliness – offer early and ongoing opportunities for participation well before decisions are made

Transparency – records of all consultation activities will be made available to the public

Balance – provide opportunities for diverse perspectives and opinions to be raised and considered

Flexibility – adapt as required to meet the needs of participants

Traceability – demonstrate the impact of participation input on decision-making

5.1 Approach, Methods and Tools

A variety of methods and tools will be used to communicate and engage during the project. These methods and tools are divided into five approaches:

Information – The RDN will share information about the project throughout the process. Updates will be shared through RDN social media accounts and print materials such as the RDN Perspectives quarterly publication. A “Get Involved” page will be created for the project and updated regularly, acting as the main source of information for the project. Interested public and stakeholders will be encouraged to sign up for email alerts on the project through “Get Involved”.

Online Consultation – The RDN will solicit comments and feedback online through the “Get Involved” page for the project using tools such as online survey and the Question and Answer tool.

Live Events – The following live events are planned:

- Drop in office hours in the Cassidy area for three days with the target audience of the local Cassidy neighbourhoods.

¹ Regional District of Nanaimo, 2008. *A Coordinated Public Consultation/Community Framework*.

- Two public meeting / open houses with presentation by staff targeting a broad range of interested public from the wider region.

Outreach – Outreach to the public will be through newspaper ads for the live events, Facebook and Twitter, direct email and phone calls to identified stakeholders listed in this Terms of Reference. Planning staff will seek to meet with stakeholder groups individually either by attending meetings they already have scheduled or at a meeting specifically to discuss the project. If groups that are not already identified in the stakeholder list in this Terms of Reference wish to be involved, Planning staff will meet with and otherwise include them in the consultation for this project.

Engagement with internal stakeholders at the RDN is also important to this process, and there will be collaboration with staff within the Strategic and Community Development department as well as those in other departments who may be impacted by the project or whose expertise may be important.

5.2 Outcomes and Products

One of the principles of this public engagement is transparency, and in order to achieve this, the “Get Involved” page for the project will be used to store information and resources. Presentation materials from public events will be posted to the website so that people who do not attend in person have access to the same information presented at the event. Input received from the public or stakeholders will be posted to the website. An exception to this may be engagement with First Nations, where confidential or sensitive information may not be posted publicly.

5.3 Referral Agencies, and Community Stakeholders

There is a statutory requirement for consultation in section 475 of the *Local Government Act*, which requires that during the development of an Official Community Plan, the Regional District must provide one or more opportunities it considers appropriate for consultation with persons, organizations and authorities it considers will be affected. The Board must specifically consider whether consultation is required with the board of any regional district that is adjacent to the area covered by the plan, the council of any municipality that is adjacent to the area covered by the plan, First Nations, school district boards, greater boards and improvement district boards, and the Provincial and Federal governments and their agencies.

The following is a list of stakeholders for Board consideration pursuant to the requirements in the *Local Government Act*. If groups or agencies identified in the list wish to be involved, Planning staff will meet with and otherwise include them in the consultation for this project.

Local	Provincial
<ul style="list-style-type: none"> • Nanaimo Airport Commission • North Cedar Improvement District • Past members of the Electoral Area ‘A’ OCP Committee • Nanaimo Flying Club • Nanaimo Area Land Trust • South Wellington and Area Community Association 	<ul style="list-style-type: none"> • School District No. 68 • Island Health • Agricultural Land Commission • Ministry of Municipal Affairs & Housing • Ministry of Environment • Ministry of Transportation & Infrastructure • Ministry of Forests, Lands, Natural Resource Operations & Rural Development

Local Governments

- Cowichan Valley Regional District
 - City of Nanaimo
 - Town of Ladysmith
-

Federal

- Canadian Wildlife Service
- Transport Canada

5.4 First Nations Engagement

The Regional Growth Strategy recognizes the need to coordinate planning with First Nations. Regional Growth Strategy Policy 11.3 states that “the RDN wishes to involve First Nations in its planning processes in the same way it involves other levels of government”, and that the RDN will “continue dialogue with First Nations regarding land use planning in the RDN... for the purpose of building a mutual appreciation and understanding of land use planning processes”. The following First Nations have indicated interest in an area that includes the Nanaimo Airport lands.

Stz’uminus First Nation
Snuneymuxw First Nation
Lake Cowichan First Nation
Halalt First Nation
Lyackson First Nation
Penelakut First Nation
Cowichan Tribes

First Nations will be contacted by letter or email initially about the project, and asked how they would like to be involved. The plan for engagement with First Nations after this initial outreach will be defined based on their response. Regardless of response to this initial outreach, all First Nations will receive a formal bylaw referral after 1st reading.

6. Budget and Resources

Approximately 0.5 full-time staff equivalent from Strategic and Community Development and mapping resources will be assigned to the project through to completion. All community, stakeholder and First Nations engagement, bylaw drafting, communications materials drafting and design will be completed by RDN staff.

7. Monitoring and Evaluation

The RDN recognizes that engaging the public is a constantly evolving challenge, and is committed to developing new and innovative approaches to keep the community involved and informed as well as getting their feedback. Evaluating the public engagement for this project will be done throughout by using feedback forms, surveys, and polls to gauge to what extent the public’s expectations are being met, in order to adapt the consultation methods during the project, and as a learning tool for future projects.

TO: Electoral Area Services Committee **MEETING:** July 9, 2019

FROM: Wendy Marshall
Manager of Parks Services

Subject: Active Transportation Infrastructure Memorandum of Understanding

RECOMMENDATION

That the Active Transportation Infrastructure Memorandum of Understanding with the Ministry of Transportation and Infrastructure be approved.

SUMMARY

In collaboration with Ministry of Transportation and Infrastructure (MoTI) and other Regional Districts from the Association of Vancouver Island Coastal Communities (AVICC), a Memorandum of Understanding (MOU) for Active Transportation Infrastructure (ATI) has been developed which outlines processes for the planning and development of ATI.

BACKGROUND

Since the fall of 2018, RDN staff have been working with other Regional Districts from AVICC and the MoTI on the development of a Memorandum of Understanding (MOU) for Active Transportation Infrastructure (ATI). The other Regional Districts are the qathet, Sunshine Coast, Comox Valley and Cowichan Valley.

The MOU (Attachment 1) provides general understandings and processes regarding the implementation of ATI. This is a first step in moving towards a collaborative relationship with MoTI in order to plan and develop ATI within developed and undeveloped MoTI Road Rights of Way.

Under the MOU, planning and design for ATI will align with the ATI Planning and Approvals Guidelines Document which is under development. Once approved, there will be project specific agreements for each ATI project. The RDN will maintain a list of ATI priority projects that will be reviewed annually with MoTI.

Each of the above noted Regional Districts will be considering individual MoUs with the same terms as the MoU between the RDN and MoTI.

ALTERNATIVES

1. That the Active Transportation Infrastructure Memorandum of Understanding with the Ministry of Transportation and Infrastructure be approved.
2. That the Active Transportation and Infrastructure Memorandum of Understanding with the Ministry of Transportation and Infrastructure not be approved and alternative direction provided to staff.

FINANCIAL IMPLICATIONS

There are no direct financial implications for the execution of the MOU. Funding for individual ATI projects will be covered by the applicable Electoral Area Community Parks budget and the use of Community Works Funds will be reviewed by UBCM as a potential funding source.

STRATEGIC PLAN IMPLICATIONS

Enhance dialogue with the Ministry of Transportation and Infrastructure (MOTI) for on- and off-road pedestrian and active transportation improvements.



W. Marshall
Wmarshall@rdn.bc.ca
June 13, 2019

Reviewed by:

- T. Osborne, General Manager, Recreation and Parks
- P. Carlyle, Chief Administrative Officer

Attachments

1. Active Transportation Infrastructure MOU – MOTI and RDN

MEMORANDUM OF UNDERSTANDING

This Memorandum of Understanding made the _____ day of _____, 2019.

AMONG:

Regional District of Nanaimo

6300 Hammond Bay Road

Nanaimo, BC V9T 6N2 (“**RDN**”)

AND:

HER MAJESTY THE QUEEN IN RIGHT OF THE PROVINCE OF BRITISH COLUMBIA

As represented by the Ministry of Transportation and Infrastructure,

PO Box 9850, Stn. Prov. Govt.

Victoria, BC VAW 9T5

(the “**MoTI**”)

WHEREAS:

- a. The Parties value active transportation, the health and wellness of the community and linking communities;
- b. The Parties recognize that the Ministry is vested with the administration and operation of the highways;
- c. MoTI recognizes and acknowledges that the RDN is a public body with an interest in providing for public uses of lands comprising provincial public highway provided that such uses comply with applicable policies respecting the operation of provincial public highways including that such uses do not interfere with the integrity of the provincial public highway infrastructure and the primary operation of the provincial public highways as safe and efficiently functioning public highways;
- d. MoTI acknowledges that it can stream line and expedite its permitting process for use of highways under its jurisdiction when dealing with a public body such as the RDN;
- e. The RDN has requested the ability to place ATI adjacent to the roadway and within the provincial public highway; and Parties recognize the need to work cooperatively to achieve safe active transportation but that the intent of this MOU is establish a cooperative set of principles to allow for placement of ATI by the RDN to be permitted under future specific agreements in a manner that is consistent with the shared values and desire to cooperate, that is set out herein;

NOW THEREFORE,

DEFINITIONS:

1. In this MOU:

“ATI” – means Active Transportation Infrastructure as described in this MOU.

“provincial public highway” – means the lands and infrastructure administered by the MoTI and comprising a “highway” as defined in the *Transportation Act*, including rural highway, arterial highways or highways referred to in section 35(2)(f) of the Community Charter, and for greater certainty includes without limitation lands whether or not improved in part or at all for public passage.

“roadway” – means the parts of the provincial public highway that are comprised of constructed road infrastructure including without limitation, those parts of the provincial public highway required for purposes of maintaining and facilitating the integrity of and the safe and efficient functioning of the road infrastructure whether or not used for vehicular traffic.

PURPOSE:

2. This Memorandum of Understanding (“**MOU**”) sets out the general understandings and processes of the RDN and the MoTI as of the date of this MOU, regarding the implementation of ATI, which generally includes:
 - (a) Gravel Pathways/Trails adjacent to the roadway
 - (b) Multi Use Pathways adjacent to the roadway
 - (c) Sidewalks adjacent to the roadway
 - (d) Widened shoulders in support of ATI connections
3. This MOU is non – binding and is subject to any and all applicable laws. Nothing in this MOU is intended to or does fetter the exercise of statutory discretions or statutory authorities applicable to the matters contemplated in this MOU.

KEY PRINCIPLES:

4. The MoTI and the RDN have been working collaboratively in unincorporated areas to consider and where reasonably appropriate permit and construct regional trails, pathways and other ATI within provincial public highway with the intent being that this will be implemented through project specific agreements for ATI projects under the guidelines described herein, which are to be developed in a mutually cooperative manner.

5. The RDN wishes to develop a framework to support where reasonably appropriate, the implementation of consistent processes to guide the planning, design, approval, construction and ongoing responsibility for ATI adjacent to roadways.
6. The RDN will work with other Regional Districts that comprise Vancouver Island Coastal Communities to promote consistency in liaising with the MoTI in its consideration of ATI proposals and administration and implementation of provincial review processes.
7. The MoTI will work, subject to and in conformance with applicable laws, with the RDN and other Regional Districts to review proposed ATI within provincial public highway.

ROLES:

8. The MoTI is vested with the administration and operation of provincial public highways and as part of this mandate reviews and may approve proposed ATI's within provincial public highways.
9. The RDN is representative of Electoral Areas A, B, C, E, F, G and H and as a part of its mandate wishes to develop ATI for the benefit of the residents in these rural areas.
10. RDN desires increased use and occupation of provincial public highway for ATI's and acknowledges that any such proposed use and occupation of provincial public highway must take into consideration and reflect provincial interests and requirements including interests and requirements relating to the preservation of the highway infrastructure and the safe and efficient functioning of the provincial public highway for ATI's.
11. RDN are prepared to be responsible for the planning, design, construction, operation, maintenance and repair of ATI's and the RDN shall contribute staff time, background studies and mapping to work cooperatively on same. The intention of the parties when dealing with future ATI projects proposed by RDN is to act reasonably and cooperatively to achieve an efficient and effective process, in accordance with the principles in this MOU.
12. RDN will maintain a list of ATI priority projects/program that will be shared with and reviewed annually with MoTI.
13. MoTI will share and annually discuss the district rehabilitation, safety and minor betterments program with the RDN.
14. The MoTI is mindful of the public interest in ensuring the provincial investments, financial and otherwise, in preserving the safe and efficient functioning of provincial

public highways while acknowledging the interest of the RDN to promote the location of ATI's within provincial public highways.

REGIONAL TRAIL PLANNING AND DESIGN:

15. MoTI and RDN acknowledge that ATI proposals must be consistent, among other things, with the applicable laws, policies and requirements including interests and requirements relating to the preservation of the highway infrastructure and the safe and efficient functioning of the provincial public highway.
16. RDN and MoTI acknowledge that among other factors that are to be taken into account in considering ATI's, there is a shared view that ATI's are generally to be located in locations sufficiently separated from roadways as to enable and where feasible maximize the integrity and the efficient functioning of the provincial public highway and the safety of person on and in the vicinity of provincial public highway and the ATI.
17. RDN acknowledge that ATI planning and design are to be consistent with and align with, amongst other things, Provincial highway corridor planning studies and goals and with the ATI Planning and Approvals Guidelines Document and are to be carried out in a manner and by adopting timelines that reasonably enable the meaningful involvement of MoTI staff.
18. MoTI and RDN acknowledge that numerous and varied factors including, without limitation, site specific circumstances and constraints, will apply to considering appropriate locations for ATI's and that as a result there may be an approach in considering and, if approved, approving proposed ATI's that is phased to allow for, amongst other things, incremental identification and resolution of issues including without limitation issues relating to the elaborate nature of ATI's and the distancing of ATI's from roadways. Without limiting MoTI's discretion, the parties agree that future guidelines will be developed by MoTI in consultation with the RDN, which may then be used in the design, operation and maintenance of ATI.
19. The MoTI retains the right to reject or refuse approval for any ATI proposal at its discretion.

PROCESS:

20. RDN and MoTI acknowledge that existing review and approval processes including without limitation, MoTI process for considering applications for permit and licence of occupation proposals, will apply and should be followed for ATI proposals, including submission of ATI proposals to the appropriate local MoTI Office Development Services department.

21. MoTI, at its discretion, and taking into account the relevant factors relating to each ATI proposal, may determine whether, if approved, a permit or licence of occupation is to apply to implementation of the ATI proposal.

MEETING:

22. RDN and MoTI intend that they will meet whenever a meeting is reasonably necessary or requested by the other party to deal with specific ATI projects and at least on an annual basis to discuss general matters and any upcoming highway and ATI plans, review operations on existing ATI on provincial public highway and review the terms of this MOU.
23. RDN and the MoTI intend to meet as may be reasonably required to discuss ATI and to cooperate in scheduling such meetings to achieve positive progress towards the objectives in this MOU.

CONTACTS:

24. The provincial lead contact with the RDN is the MoTI District Manager, [Lower Mainland District]
25. The provincial lead contact for RDN Regional District members is the local MoTI office
26. The RDN Regional District lead contact is General Manager of Recreation and Parks Services.

[Execution Page Follows]

This Memorandum of Understanding is signed on behalf of RDN and MoTI as follows.

Regional District of Nanaimo (RDN)

_____, 2019
Signature **Date**

Name

Title

Witness Signature

MINISTRY OF TRANSPORTATION AND INFRASTRUCTURE

_____, 2019
Signature **Date**

Name

Title

Witness Signature

TO: Electoral Area Services Committee **MEETING:** July 9, 2019
FROM: Tom Armet
 Manager, Building & Bylaw Services **FILE:**
SUBJECT: Building Permit Activity – Second Quarter 2019

RECOMMENDATION

That the report Building Permit Activity – Second Quarter 2019 be received for information.

SUMMARY

A summary of building permit activity for the first half of 2019 is provided for the Regional District of Nanaimo's (RDN's) 7 Electoral Areas, as well as the District of Lantzville where the RDN provides building permit and inspection services under contract. The RDN has experienced steady growth in residential construction activity during the past three years at levels higher than the provincial average. Overall, the number of permits in the first half of 2019 has remained relatively constant through the same period of 2018 and 2017. The construction value of the permits issued during the first 6 months of 2019 is \$57 million, representing a 32% decrease over 2018 and an 18% decrease in construction value over 2017.

Building Permit approval times can vary depending on project complexity, application volumes and completeness of applications, as well as staff levels. Currently the average wait time for permit approvals is approximately 8 to 9 weeks and inspection scheduling is between 2 and 5 days. In the first 6 months of 2019, the RDN processed 453 permit applications and conducted nearly 3,200 field inspections. An update on innovations that the Department is continuing to implement to improve the efficiency of building permit processing is also provided in this report.

BACKGROUND

The steady level of building activity over the past three years within the Regional District of Nanaimo is reflective of the strong performing economy in the region. Recent published reports by Central 1 and the BC Real Estate Association are forecasting continued growth in the housing market in this region in 2019 and beyond.¹

Building permit data is collected and disseminated monthly to various federal and provincial agencies such as Statistics Canada and BC Assessment where the data is used for tracking, property valuation and forecasting of development trends. Monthly permitting activity reports are posted on the RDN website with copies provided to the Area Directors. Construction activity in the RDN Electoral Areas tends to be predominately residential, with a relatively small number of non-residential (commercial/industrial) building permits issued.

¹ https://www.central1.com/wp-content/uploads/2018/11/ea-2018_04-BC.pdf

Building Permit Applications

The RDN received 453 building permit applications in the first half of 2019, a small increase over the same period in 2018 (440) and 2017 (449). The construction value of permits issued can fluctuate based on the type and scope of projects. Overall construction value of the permits issued during this period is \$57 million, representing a 32% decrease over 2018 and an 18% decrease in construction value over 2017.

Non-residential (commercial/industrial) building permits typically represent a relatively small number of the permits issued by the RDN. However, the value of these permits can be high, depending on the scope of the commercial or industrial projects. While the overall volume of building permit applications remained at relatively the same level as 2018, the number of non-residential permits increased over the same period in 2018. In the first half of 2019, the RDN issued 25 non-residential permits valued at \$6.8 million, compared to 15 permits valued at \$2.7 million in 2018, and 24 non-residential permits valued at \$7.3 million in the same period in 2017.

Building Permits by Electoral Area

Building activity levels in the electoral areas remain strong, particularly Areas B, E and F and G. The following table provides a biannual breakdown of building permits issued by Electoral Area and Lantzville from 2017 to 2019:

Electoral Area	Building Permits Issued (First 6 Months)		
	2017	2018	2019
A	59	57	35
B	48	54	66
C	25	23	48
E	76	67	71
F	59	48	55
G	62	55	44
H	20	45	39
Lantzville	10	25	27
Total Permits issued	359	374	385
Total Construction Value (\$m)	\$69.8	\$83.8	\$57

Building Permit Approvals and Inspection Scheduling

Building Permit approval times can vary depending on project complexity, application volumes and completeness of applications, as well as staff levels. Currently the average wait time for permit approvals is approximately 8 to 9 weeks and inspection scheduling is between 2 and 5 days. In the first two quarters of 2019, the RDN processed 453 permit applications and conducted nearly 3,200 field inspections.

A province-wide shortage of qualified building inspectors has affected the RDN's ability to fill two vacant building inspector positions however recruitment efforts are continuing. Temporary administrative staff have assisted with inspection scheduling and permit intake. Plan reviewers and inspectors are working extra hours to process building permit applications and conduct field inspections within reasonable periods of time, given the heavy workload being experienced by the department.

Service Enhancements

Permit processing times and the delivery of inspection services has an impact on our customers' ability to deliver product to their clients. In response to this, we have incorporated a continuous improvement model to review our processes, incorporate technology and adjust service and staff levels where possible.

The technical work has now been completed on the initiative to implement a public portal in 2019 for online building permit applications and inspection scheduling. The public portal will be fully integrated with the RDN's internal processes and is designed to give the public the option to "self-serve" their building permit application and inspection requests from their home, office or mobile device and it is expected that this will be in place by December of 2019. Use of the portal will eliminate the need for clients to travel to the RDN office or schedule their inspections by telephone, which in turn will enhance the overall efficiency of the permit/inspection process for the public and staff alike. Plans are underway for the public engagement component of the portal project.

ALTERNATIVES

1. Receive the report Building Permit Activity – Second Quarter 2019 for information.
2. Provide alternate direction to staff.

FINANCIAL IMPLICATIONS

There are no financial implications in receiving this report.

STRATEGIC PLAN IMPLICATIONS

People and Partnerships - Improve the governance and awareness of RDN activities for citizens throughout the Region.



Tom Armet
tarmet@rdn.bc.ca
July 2, 2019

Reviewed by:

- G. Garbutt, General Manager, Strategic & Community Development
- P. Carlyle, Chief Administrative Officer