

DASHWOOD FIRE HALL REPLACEMENT

GENERAL NOTES

- THE CONTRACTOR SHALL ENSURE THAT ALL CONSTRUCTION FOLLOWS THESE DOCUMENTS. ALL REVISIONS SHALL BE APPROVED IN ENTIRETY BY THE ARCHITECT.
- ALL WORK SHALL COMPLY WITH ALL PROVINCIAL CODES, MUNICIPAL CODES, BY-LAWS, AND SHALL BE IN ACCORDANCE WITH THE BRITISH COLUMBIA BUILDING CODE 2018.
- THE CONTRACTOR SHALL VISIT THE SITE AND BECOME FAMILIAR WITH ALL CONDITIONS. THE CONTRACTOR SHALL VERIFY ALL LINES, LEVELS, SURVEYS, DIMENSIONS AND CONDITIONS SHOWN ON THESE DRAWINGS WITH THOSE AT THE SITE. ANY VARIATION WHICH REQUIRES PHYSICAL CHANGE SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT / OWNER BEFORE COMMENCEMENT OF WORK.
- THESE DRAWINGS, INCLUDING DIMENSIONS, SHALL BE READ IN CONJUNCTION WITH ALL OTHER PROJECT DRAWINGS. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO THE ATTENTION OF THE ARCHITECT AND OBTAIN CLARIFICATION PRIOR TO COMMENCING CONSTRUCTION.
- THESE DOCUMENTS DO NOT INCLUDE THE NECESSARY COMPONENTS FOR SAFETY. SAFETY, CARE OF ADJACENT PROPERTIES DURING CONSTRUCTION AND COMPLIANCE WITH LOCAL REGULATIONS REGARDING SAFETY SHALL BE SOLELY THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL DIMENSIONS ARE IN METRIC UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL VERIFY DIMENSIONS BEFORE CONSTRUCTION AND REPORT DISCREPANCIES BEFORE PROCEEDING WITH THE WORK. **DO NOT SCALE DRAWINGS**
- CONTRACTOR TO ENSURE THAT ALL WORK IS CARRIED OUT ACCORDING TO THE RULES AND CUSTOMS OF BEST TRADE PRACTICES AND THEIR SPECIFICATIONS, BY SKILLED TRADESPEOPLE KNOWLEDGEABLE OF THE TYPE OF CONSTRUCTION.
- SHOP DRAWINGS TO BE REVIEWED IN ACCORDANCE WITH PROJECT REQUIREMENTS.
- CAULK AND SEAL OVER AND AROUND EXTERIOR OPENINGS USING NON-HARDENING CAULKING COMPOUND. PROVIDE FOR DRAINAGE / PRESSURE EQUALIZATION PER SOUND BUILDING SCIENCE PRINCIPLES AND RECOMMENDATIONS OF RESPECTIVE CURRENT TRADE MANUALS. JOINTS NOT TO EXCEED 10 mm IN WIDTH.
- ALL METAL FLASHING AND TRIM TO BE PER SMACNA RECOMMENDED PRACTICE AND DETAILS, WITH PEEL AND STICK MEMBRANE COUNTER-FLASHING UNDER. ALL FLASHING MUST SLOPE POSITIVELY TO DRAIN MIN. 5%.
- ROOFING TO MEET ROABC REQUIREMENTS FOR A 5 YR. WARRANTY.
- REFER TO STRUCTURAL, MECHANICAL, ELECTRICAL, CIVIL, AND LANDSCAPE DRAWINGS FOR LOCATIONS AND DIMENSIONS OF OPENINGS, SLEEVES, EMBEDDED ITEMS AND OTHER BUILDING OR SITE COMPONENTS NOT SHOWN ON THE ARCHITECTURAL DRAWINGS. REPORT DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
- CONTRACTOR TO VERIFY LOCATIONS OF UNDERGROUND SERVICES AND BE RESPONSIBLE FOR DISRUPTIONS AND ASSOCIATED COSTS.
- SHOULD ANY BIDDER OF THIS PROJECT FIND DISCREPANCIES IN, OR OMISSIONS FROM THE DRAWINGS, SPECIFICATIONS OR DOCUMENTS, OR SHOULD BE IN DOUBT AS TO THEIR MEANING, HE OR SHE SHALL NOTIFY THE ARCHITECT IN WRITING A MINIMUM OF 48 HOURS PRIOR TO TENDER CLOSING.
- CHARGES FOR EXTRAS TO THE CONTRACT MUST BE BROUGHT TO THE ARCHITECT'S ATTENTION BEFORE THE WORK PROCEEDS. ADEQUATE TIME MUST BE ALLOWED FOR REVIEW AND APPROVAL OF EXTRAS BY THE ARCHITECT. WORK WHICH PROCEEDS BEFORE CONSULTANT APPROVAL IS OBTAINED MAY NOT BE GRANTED EXTRA PAYMENT.
- A MINIMUM OF 24 HRS. NOTIFICATION IS REQUIRED FOR REVIEW AND INSPECTIONS PERTAINING TO PART 2 OF THE BRITISH COLUMBIA BUILDING CODE 2018.
- ALL EXTERIOR EXPOSED STEEL NOT HOT DIP GALVANIZED OR PRE-FINISHED TO BE PAINTED WITH ZINC RICH PRIMER (CLOVAZINC AND 2 COATS CLOVATHANE URETHANE PAINT - COLOUR TO BE SELECTED BY CONSULTANT)
- ALL STAIRS TO CONFORM TO THE BRITISH COLUMBIA BUILDING CODE 2018 REQUIREMENTS FOR TACTILE WARNING SYSTEMS.
- CONTRACTOR TO SUPPLY AND INSTALL 100 mm (4") DIAMETER SCHEDULE 40 PVC SLEEVES AT A DEPTH OF 450 mm (18") CONNECTING ALL PLANTING AREAS SHOWN ON LANDSCAPE PLANS AS APPLICABLE.
- MAINTAIN CONTINUITY OF ALL FIRE SEPARATIONS AS THEY OCCUR IN WALL AND FLOOR ASSEMBLIES.
- SCOPE: 1) EXTERIOR BUILDING ENVELOPE, INCLUDING STAIRS, LEVEL 2 FLOOR, ALL CLADDING, ALL EXTERIOR WINDOWS AND DOORS ARE CONSIDERED TO BE PART OF THE PRE-ENGINEERED STEEL BUILDING PACKAGE.
2) ALL INTERIOR FRAMING, FINISHING, INTERIOR DOORS AND MILLWORK ARE CONSIDERED TO BE PART OF THE GENERAL CONTRACT.

ABBREVIATIONS

AL ALUMINUM	M MILLWORK
ADO AUTOMATIC DOOR OPERATOR	MTL METAL
AND ANKLED	NCC NON-COMBUSTIBLE CONSTRUCTION
ASSY ASSEMBLY	N/C NOT IN CONTRACT
BLDG BUILDING	NTS NOT TO SCALE
CC COMBUSTIBLE CONSTRUCTION	OC ON CENTER
CLG CEILING	O.C. ON CENTER
CLR CLEAR (FINISHED)	OH OVERHEAD
CMU CONCRETE MASONRY UNIT	PFMS PREFINISHED METAL SIDING
CONC CONCRETE	PLAM PLASTIC LAMINATE
CW COMPLETE WITH	PWD PLYWOOD
DET DETAIL	PAL PANEL
DR DOOR	POL POLISHED
DN DOWN	POLV POLY VAPOUR BARRIER
DW DISHWASHER	PF PREFINISHED
ELEC ELECTRICAL	PS PRESSED STEEL
ELEV ELEVATION / ELEVATOR	PT PAINT
EXST EXISTING	P.T. PRESSURE TREATED (WOOD)
EXT EXTERIOR	PTD PAINTED
EXP EXPOSED	R RUBBER
FOP FIBER CEMENT PANEL	R.A. ROOF ANCHOR
FD FLOOR DRAIN	RC REFLECTED CEILING PLAN
FDC FIRE DEPARTMENT CONNECTION	RD ROOF DRAIN
FDN FOUNDATION	REN REINFORCED
FFE FINISHED FLOOR ELEVATION	RS RAIN WATER LEADER
FH FIRE HYDRANT	S SEALER
FN FINISHED	SD SLOPE DRAIN
FRR FIRE-RESISTANCE RATING	SM SIMILAR
FTG FOOTING	SP STAND PIPE
FL FLOOR	STL STEEL
FX FIRE EXTINGUISHER	STRUC STRUCTURAL
GALV GALVANIZED	TD TRENCH DRAIN
GL GLASS	TG TEMPERED SAFETY GLASS
GWB GYPSUM WALL BOARD	TOF TOP OF
HB HOSE BIB	TP TYPICAL
HM HOLLOW METAL	UNO UNLESS NOTED OTHERWISE
HR HANDRAIL	UNO UNLESS NOTED OTHERWISE
HSS HOLLOW STRUCTURAL SECTION	UNO UNLESS NOTED OTHERWISE
HT HEIGHT	WD WOOD
INSUL INSULATION	WD WASH/DRYER
LAM LAMINATE	WL WALL LIGHT
LC LINEN CLOSET	WT WATER TANK
LSG LAMINATED SAFETY GLASS	W WITH
m METERS)	W WITH
mm MILLIMETERS)	% AT
MIN MINIMUM	% PERCENT

LEGEND

	WALL TYPE
	DOOR NUMBER
	WINDOW NUMBER
	ROOM NUMBER
	W. AREA
	CEILING TYPE
	W. HEIGHT
	KEYNOTE
	SPOT ELEVATION
	FINISHED FLOOR ELEVATION
	PROPERTY LINE
	LINE ABOVE / BELOW
	MINERAL BATT INSULATION
	SBS WATERPROOFING MEMBRANE
	S.A. MEMBRANE
	POLY VAPOUR BARRIER MEMBRANE
	AIR BARRIER MEMBRANE

CONTEXT PLAN



PROJECT TEAM:

CLIENT: REGIONAL DISTRICT OF NANAIMO 4401 - 1245 ESQUIMALT RD. 6300 HAMMOND BAY ROAD NANAIMO, BC V9T 6A2	ARCHITECTS: PRAXIS ARCHITECTS INC. (STUDIO PA) 4401 - 1245 ESQUIMALT RD. VICTORIA, BC V8W 3P2	GEOTECHNICAL: SIMPSON GEOTECHNICAL LTD. 203-6966 ISLAND HIGHWAY BOWSER, BC V0R 1G0
GERALD ST. PIERRE T: 250-380-6507 GSTPIERRE@RDON.BC.CA	HEATHER SPINNEY T: 250-475-2702 HEATHER@STUDIOPA.CA	RICHARD SIMPSON T: 779-424-8747 RSIMPSON@SIMPSONGEOTECH.COM
STRUCTURAL: READ JONES CHRISTOFFERSEN LTD. 721 JOHNSON STREET VICTORIA, BC V8W 4K5	MECHANICAL: AME CONSULTING GROUP LTD. 220 - 645 TYEE ROAD VICTORIA, BC V8W 1M8	QUANTITY SURVEYOR: ADVACAS GROUP CONSULTANTS INC. 100 - 31 BASTION SQUARE VICTORIA, BC V8W 1J1
PETER MACHNEE T: 250-386-7754 PMACHNEE@AJC.CA	ANGELA ROBINSON T: 250-382-6599 ANGELAROBINSON@AMEGROUP.CA	FRANCIS YONG T: 250-956-5422 FYONG@ADVACAS.COM
ELECTRICAL: AES ENGINEERING 300 - 1815 BLANSHARD STREET VICTORIA, BC V8T 5A4	CIVIL: JE ANDERSON & ASSOCIATES 1A - 3411 SHENTON ROAD NANAIMO, BC V9T 2H1	SURVEYOR: PRISM LAND SURVEYING LTD. 223 FERN ROAD W QUALICUM BEACH, BC V9K 1S4
JAD MACDONALD T: 250-381-6121 JAD.MACDONALD@AESENGR.COM	SCOTT STEVENSON T: 250-753-4631 SSTEVENSON@JEANDERSON.COM	NEIL BAUDER T: 250-753-8241 NEIL@PRISMLANDSURVEYING.CA

BUILDING INFORMATION

1.0 APPLICABLE BUILDING CODE	BRITISH COLUMBIA BUILDING CODE 2018
2.0 PROJECT BUILDING CHARACTERISTICS	MUNICIPALITY: NANAIMO REGIONAL REGIONAL DISTRICT - ELECTORAL AREA G CIVIC ADDRESS: 230 HOBBS RD. LEGAL DESCRIPTION: LOT 1, DISTRICT LOT 80, NEWCASTLE DISTRICT, PLAN 41262 PROPERTY ID: 009591122 MAJOR OCCUPANCY: GROUP F DIVISION 2 (MEDIUM HAZARD INDUSTRIAL) GROUP D (BUSINESS AND PERSONAL SERVICES)
3.0 BUILDING CODE ANALYSIS	REFER TO BUILDING CODE MATRIX
4.0 ZONING REQUIREMENTS:	ELECTORAL AREA G OCP, RURAL RESIDENTIAL 3 OCP LAND USE: BL 500, P.U.I. H ZONE: 8.075 #P SITE AREA: 14% LOT COVERAGE: 14% MIN. SETBACKS: 8.0 m FRONT (HOBBS RD) 5.0 m INTERIOR SIDE 5.0 m EXTERIOR SIDE 5.0 m REAR
5.0 PARKING REQUIREMENTS	PARKING SPACES: 22
6.0 BUILDING ENVELOPE REQUIREMENTS	NECB 2015 REFER TO ENERGY MODELLING REPORT PREPARED BY AME GROUP (10 PAGES, DATED MARCH 3, 2022)

DRAWING LIST

ARCHITECTURAL	MECHANICAL
A0.0 TITLE PAGE	M001 COVERSHEET
A0.1 ASSEMBLIES + CODE REVIEW	M002 MECHANICAL MOTORLIST
A0.2 SCHEDULES	M003 MECHANICAL SCHEDULES
A1.0 SITE PLAN	M004 MECHANICAL ROOF PLAN
A1.1 LEVEL 01 FLOOR PLAN + RCP	M005 MECHANICAL FOUNDATION PLAN
A1.2 LEVEL 02 FLOOR PLAN + RCP	M006 PLUMBING PLAN LEVEL-1
A1.3 ROOF PLAN	M007 PLUMBING PLAN LEVEL-2
A1.4 LEVEL 01 + 02 FIXTURES AND FINISHES	M008 HVAC PLAN LEVEL-1
A2.0 ELEVATIONS	M009 HVAC PLAN LEVEL-2
A3.0 BUILDING SECTIONS	M010 MECHANICAL SCHEMATICS I
A3.1 WALL SECTIONS	M011 MECHANICAL SCHEMATICS II
A4.0 STAR DETAILS	M012 MECHANICAL SCHEMATICS III
A5.0 DETAILS	ELECTRICAL
A5.1 DETAILS	E1.0 SITE PLAN, LEGEND, AND DETAILS
A5.2 WINDOW & DOOR DETAILS	E1.1 DUCT PROFILE, SINGLE LINE DIAGRAM, ELECTRICAL ROOM LAYOUT, DETAILS, AND SCHEDULES
A6.0 MILLWORK - ENTRY AND OFFICE	E1.2 DETAILS AND SCHEDULES
A6.1 MILLWORK - OFFICE	E2.0 REVISED LEVEL 1 ELECTRICAL LAYOUTS
A6.2 MILLWORK - SUPPORT AREAS	E2.1 REVISED LEVEL 2 ELECTRICAL LAYOUTS
A6.3 MILLWORK - APPARATUS BAYS SUPPORT	CIVIL
A6.4 MILLWORK - KITCHEN	C1 SERVICES PLAN, KEY PLAN AND NOTES
A6.5 MILLWORK - WASHROOMS	C2 GRADING PLAN
A6.7 MILLWORK - BARRIER FREE WC + ACCESSIBLE DESIGN	C3 DETAILS AND EROSION & SEDIMENT CONTROL PLAN
STRUCTURAL	
S1.01 GENERAL NOTES AND TYPICAL DETAILS	
S1.02 GENERAL NOTES AND TYPICAL DETAILS	
S1.03 GENERAL NOTES AND TYPICAL DETAILS	
S1.04 GENERAL NOTES AND TYPICAL DETAILS	
S2.00 FOUNDATION PLAN (MAIN FLOOR PLAN)	
S2.01 FOUNDATION MAIN FLOOR REINFORCEMENT PLAN	
S2.02 LEVEL 2 AND ROOF FRAMING PLANS	
S3.01 SECTIONS AND DETAILS	

ISSUED FOR TENDER 2022-07-22

ITEM	BUILDING CODE MATRIX				BCBC 2018 REFERENCES						
	GROUP	REQUIRED	ALTERATION	ADDITION							
1	PROJECT DESCRIPTION	<input checked="" type="checkbox"/> NEW	<input type="checkbox"/> ADDITION	<input type="checkbox"/> ALTERATION	1.1.2						
2	OCCUPANCY CLASSIFICATION MAJOR OCCUPANCY(S)	GROUP F-2 + GROUP D			3.1.2.1(1)						
3	BUILDING AREA (m ²)	EXISTING: N/A	NEW: 730m ²	TOTAL: 730m ²	14.1.2, 3.2.2.79						
4	FLOOR AREA (m ²)	BASEMENT LEVEL 1 LEVEL 2	EXISTING: N/A NEW: N/A EXISTING: N/A NEW: 700m ² NEW: 347m ²	TOTAL: N/A TOTAL: 700m ² TOTAL: 347m ² TOTAL: 1047m ²	14.1.2						
5	NUMBER OF STOREYS ABOVE GRADE	2	NUMBER OF STOREYS BELOW GRADE: 0	MAX 2	14.1.2, 3.2.2.79						
6	NUMBER OF STREETS BUILDING IS FACING	2			3.2.2.10.						
6b	NUMBER OF FIRE FIGHTER ACCESS LANES	N/A			3.2.5.						
7	BUILDING CLASSIFICATION	GROUP F-2 (REPAIR GARAGE) + GROUP D			3.2.2.79 + 3.2.2.63						
8	SPRINKLER SYSTEM PROPOSED	<input checked="" type="checkbox"/> ENTIRE BUILDING <input type="checkbox"/> SELECTED COMPARTMENTS <input type="checkbox"/> SELECTED FLOOR AREAS <input type="checkbox"/> BASEMENT <input type="checkbox"/> NOT REQUIRED			3.2.1.5. 3.2.2.16. 3.2.5.13.						
9	STANDPIPE AND HOSE REQUIRED	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO		3.2.5.8						
10	FIRE DEPARTMENT CONNECTIONS	< 45 m FROM HYDRANT			3.2.5.15.						
11	LOCATION OF ACCESS ROUTES	PRINCIPAL ENTRANCE LOCATED 3-15 m FROM ACCESS ROUTE			3.2.5.5(1)						
12	WATER SERVICE / SUPPLY IS ADEQUATE	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO		3.2.5.						
13	HIGH BUILDING	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO		3.2.6.						
14	PORTABLE FIRE EXTINGUISHERS	(PER FIRE CODE)			3.2.5.16.						
15	FIRE ALARM REQUIRED	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO		3.2.4.1.						
16	CONTINUITY OF FIRE ALARM SYSTEMS	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO		3.2.4.2.						
17	TYPES OF FIRE ALARM SYSTEMS	SINGLE STAGE			3.2.4.3.						
18	ANNUNCIATOR AND ZONE INDICATION	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO		3.2.4.8.						
19	EMERGENCY LIGHTING + POWER	PROVIDED			3.2.7.3, 3.2.7.4						
20	EMERGENCY POWER FOR FIRE ALARM	BATTERY			3.2.7.8.						
21	CONSTRUCTION RESTRICTIONS	<input type="checkbox"/> COMBUSTIBLE PERMITTED <input type="checkbox"/> NON-COMBUSTIBLE REQUIRED <input checked="" type="checkbox"/> BOTH PERMITTED			3.2.2.79 + 3.2.2.63						
22	MEZZANINE(S)	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	AREA (m ²):		3.2.8.						
23	INTERCONNECTED FLOOR SPACE	<input checked="" type="checkbox"/> YES (APP. BAY)	<input type="checkbox"/> NO		3.2.8.2 (6)						
24	OCCUPANT LOAD	50 PER FIRE CHIEF, 4 DORMS SLEEP 4 MAX (INCLUDED IN OCC. LOAD)									
25	BARRIER FREE DESIGN EXPLAN	<input checked="" type="checkbox"/> YES PROVIDES ACCESSIBLE ENTRANCE AND PATH OF TRAVEL IN LEVEL 1 COMMON AREAS UNIVERSAL WASHROOM PROVIDED			3.8. 3.8.2.1(1)(b) 3.8.3.12						
26	REQUIRED FIRE RESISTANCE RATING	ASSEMBLIES FLOORS ROOF MEZZANINE MEMBERS LOADBEARING WALLS, COLUMNS, ARCHES	REQUIRED 45 MINS IF C CONST. N/A N/A REQUIRED SAME AS SUPPORTED ASSEMBLY	LISTED DESIGN NO. OR DESCRIPTION REFER TO ASSEMBLIES REFER TO ASSEMBLIES	3.2.2.79 + 3.2.2.63						
27	SPATIAL SEPARATION AND EXPOSURE PROTECTION	BLDG FACE SOUTH EAST NORTH WEST	EBF AREA (m ²) 146 200 146 200	LIMITING DISTANCE (m) 15 15 28 36	UPO AREA (m ²) 24.5 56 4.6 64	OPENINGS PERMITTED (%) 100 100 100 100	OPENINGS ACTUAL (%) 17% 28% 3% 32%	F.R.R. REQUIRED (MIN) 0 0 0 0	CONSTRUCTION REQUIRED NC / C NC / C NC / C NC / C	CLADDING REQUIRED NC / C NC / C NC / C NC / C	TABLE 3.2.3.1-D 3.2.3.7
28	PLUMBING FACILITIES	OCCUPANCY BUS. IND.	OCCUPANCY 50	UNIVERSAL <input checked="" type="checkbox"/> YES (-10)	#COSEX 20	W(C/M) 2	W(C/F) 2	W(C/HARED) N/A			3.7.2.2. 3.7.2.2-B
29	UNIVERSAL WASHROOMS REQUIRED	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO									3.8.2.8(2)(b)
30	MAJOR OCCUPANCY FIRE SEPARATIONS	ADJOINING OCCUPANCIES: F-2; D	FIRE RESISTANCE RATING --								TABLE 3.1.3.1
31	ROOMS REQUIRING FIRE SEPARATIONS	ROOM TYPES SEPARATION OF SUITES STORAGE ROOM REPAIR GARAGE EXIT SEPARATIONS SERVICE ROOMS COMBUST. REFUSE STORAGE	FIRE RESISTANCE RATING 1 HR 1 HR 2 HR SAME AS FLOOR ABOVE 1 HR OR N/A IF MEETS 3.6.2.1(8) 1 HR								3.3.4.2. 3.3.4.3. 3.3.5.6. 3.4.4.1. 3.6.2.1. 3.6.2.5. 3.4.2.1.
32	EXIT QUANTITY AND LOCATION	2 EXITS >6m APART AND <15m TO STREET									3.4.2.1.
33	TRAVEL DISTANCE	40 m (GROUP D OCCUPANCY) OR 45 m (ELSEWHERE)									3.4.2.5(1)(c)
34	MIN. EXIT CORRIDOR + STAIR WIDTH	1100 mm									TABLE 3.4.3.2-A
35	MAX. EXIT WIDTH REDUCTION	100 mm PROJECTION ON EACH SIDE = 900 mm REDUCED WIDTH									3.4.3.1(4)
36	MIN. HEADROOM CLEARANCE	2050 mm CLEAR HEIGHT									3.4.3.4.
38	EXIT SIGNS	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	ON ALL EXIT DOORS								3.4.5.1
39	EXIT SIGNS AT EXIT LEVEL	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	INDICATING LEVELS BEYOND EXIT LEVEL								3.4.5.2
41	FLOOR NUMBERING	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	MOUNTED IN EXIT STAIRS AT EACH LEVEL								3.4.6.19.
42	SELF-CLOSING DEVICES	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	ALL DOORS IN FIRE SEPARATIONS								3.4.6.13.
43	DOOR RELEASE HARDWARE	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	ALL DOORS IN EXIT PATH OF TRAVEL								3.4.6.16.
44	MAX FLAME SPREAD RATING (INT. FINISHES)	CORRIDORS=150	EXITS=25								3.1.13.2-6.
45	FOAM PLASTICS PROTECTION	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO									3.1.4.2.3.1.5.15.

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NO.	DATE	DESCRIPTION
4	2022-07-22	ISSUED FOR TENDER
5	2022-05-20	ISSUED FOR CLASS A COSTING
3	2022-03-04	ISSUED FOR BUILDING PERMIT
2	2021-09-27	ISSUED FOR 100% DD
1	2021-08-25	ISSUED FOR 60% DD

NO. DATE DESCRIPTION

SEAL



2022.07.22

STUDIO PA Heather Spinney, Architect, AIBC
Robert Rocheleau, Architect, AIBC

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PROJECT TITLE

DASHWOOD FIRE HALL REPLACEMENT

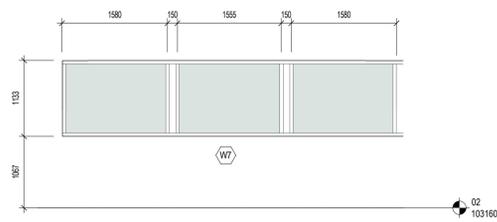
230 HOBBS ROAD
QUALICUM BEACH BC

SHEET TITLE

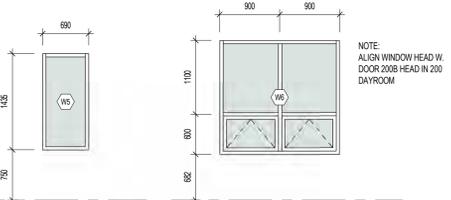
TITLE PAGE

DATE	2022-01-14	SHEET NO.
PROJECT NO.	20-007	A0.0
SCALE	As indicated	
DRAWN BY	LK	

WINDOW SCHEDULE (ALIGN WINDOW HEAD W. DOOR HEAD UNO)

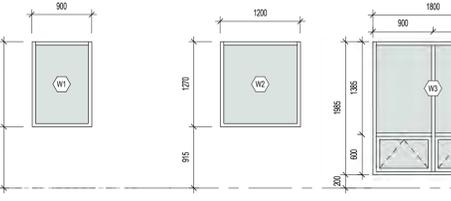


7 STOREFRONT W7
1 : 50



5 STOREFRONT W5
1 : 50

6 STOREFRONT W6
1 : 50



1 STOREFRONT W1
1 : 50

2 STOREFRONT W2
1 : 50

3 STOREFRONT W3
1 : 50

4 FIXED WIRED GLASS W4
1 : 50

** NOTE **
FIXED WIRED GLASS ASSEMBLY
45 MINUTE FRR FOR EXIT EXPOSURE PROTECTION

** NOTE **
DOUBLE GLAZED, LOW E, ARGON FILLED THERMALLY BROKEN STOREFRONT SYSTEM (TYP.)
TO MEET NAFS PERFORMANCE REQUIREMENTS AS SPECIFIED
COLOUR - BLACK OR CHARCOAL

WINDOW NOTES

REFER TO CBC 2018 AND ASHRAE 90.1 2016 FOR ADDITIONAL INFORMATION

1. COORDINATE TRICKLE VENTS WITH MECHANICAL AS REQUIRED.

2. WINDOWS IN PUBLIC AREA > 1000mm HIGH A.F.F. MUST BE PROTECTED BY BARRIER OR RAILING 1070mm A.F.F. OR WINDOW REQUIRED TO BE NON-OPERABLE AND DESIGNED TO WITHSTAND THE LATERAL DESIGN LOADS FOR BALCONY GUARDS. CBC 2018: TRANSPARENT DOORS AND PANELS 3.3.1.19(8); LOADS ON GUARDS AND HANDRAILS 4.1.5.14.

3. WINDOWS AND DOORS SHALL COMPLY WITH:
1. 44MM WINDMCSA 1011.S.2(44); NAFS - NORTH AMERICAN FENESTRATION STANDARDS/SPECIFICATIONS FOR WINDOWS, DOORS AND SKYLIGHTS AND;
2. CSA A405.1 "CANADIAN SUPPLEMENT TO ANNA WINDMCSA 1011.S.2(44); NAFS - NORTH AMERICAN FENESTRATION STANDARDS/SPECIFICATIONS FOR WINDOWS, DOORS AND SKYLIGHTS";
CBC 2018: DESIGN AND CONSTRUCTION 5.9.2.2.

NAFS MINIMUM PERFORMANCE REQUIREMENTS FOR WINDOWS AND GLAZED DOORS

PERFORMANCE CLASS	LC
MINIMUM PERFORMANCE GRADE	25
MINIMUM POSITIVE DESIGN PRESSURE	1200 Pa
MINIMUM NEGATIVE DESIGN PRESSURE	-1200 Pa
MINIMUM WATER PENETRATION TEST PRESSURE	200 Pa
MINIMUM CANADIAN AIR INFILTRATION / EXFILTRATION	A2
CONDENSATION RESISTANCE:	63

MINIMUM PERFORMANCE REQUIREMENTS - FENESTRATION FOR METAL FRAMING

FIXED, MAXIMUM ASSEMBLY U VALUE:	0.38
ENTRANCE DOOR, MAXIMUM ASSEMBLY U VALUE:	0.88
MAXIMUM ASSEMBLY SOLAR HEAT GAIN COEFFICIENT:	0.38

MINIMUM PERFORMANCE REQUIREMENTS - OPAQUE DOORS

MAXIMUM ASSEMBLY U VALUE:	0.37
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FIELD TESTING

ASTM STANDARD E1105-00 "STANDARD TEST METHOD FOR FIELD DETERMINATION OF WATER PENETRATION OF INSTALLED EXTERIOR WINDOWS, CURTAIN WALLS, AND DOORS BY UNIFORM OR CYCLIC STATIC AIR PRESSURE DIFFERENCE."

A MINIMUM OF 3 WINDOWS AND ONE PATIO DOOR ARE TO BE TESTED ON SITE PER ASTM STANDARD E1105-00, PROCEDURE A.

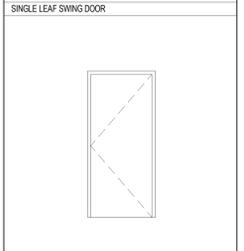
THE WINDOW FABRICATION AND INSTALLATION ARE TO MEET OR EXCEED TEST STANDARDS NOTED ABOVE. SHOULD WINDOW INSTALLATION OR FABRICATION NOT MEET THE SPECIFIED STANDARD, THE MANUFACTURER / INSTALLER SHALL RECTIFY DEFECTS IN WINDOW FABRICATION AND / OR INSTALLATION FOR ALL WINDOWS INSTALLED.

A FURTHER TEST WILL BE CONDUCTED AT CONTRACTOR'S EXPENSE (INCLUDING PRESENCE OF RELEVANT CONSULTANTS) WHERE FAILED UNITS AND 2 ADDITIONAL RANDOMLY SELECTED WINDOWS WILL BE TESTED.

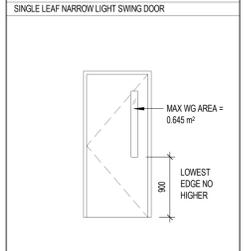
THIS PROCEDURE IS TO BE REPEATED UNTIL ALL WINDOWS IN THE TEST SAMPLE PASS THE SPECIFIED STANDARD.

DOOR TYPES

TYPE S1
SINGLE LEAF SWING DOOR



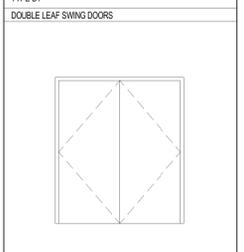
TYPE S2
SINGLE LEAF NARROW LIGHT SWING DOOR



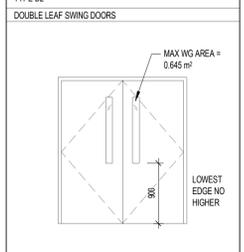
TYPE S3
SINGLE LEAF GLAZED ALUMINUM SWING DOOR



TYPE D1
DOUBLE LEAF SWING DOORS



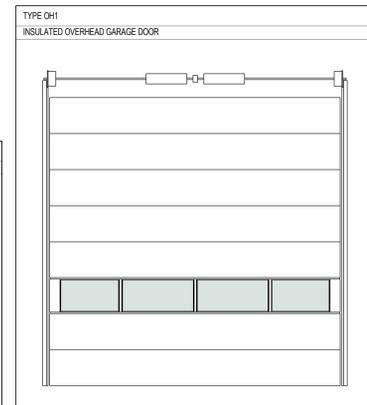
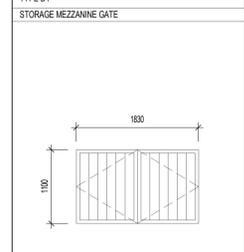
TYPE D2
DOUBLE LEAF SWING DOORS



TYPE D3
DOUBLE LEAF GLAZED ALUMINUM SWING DOORS



TYPE D4
STORAGE MEZZANINE GATE



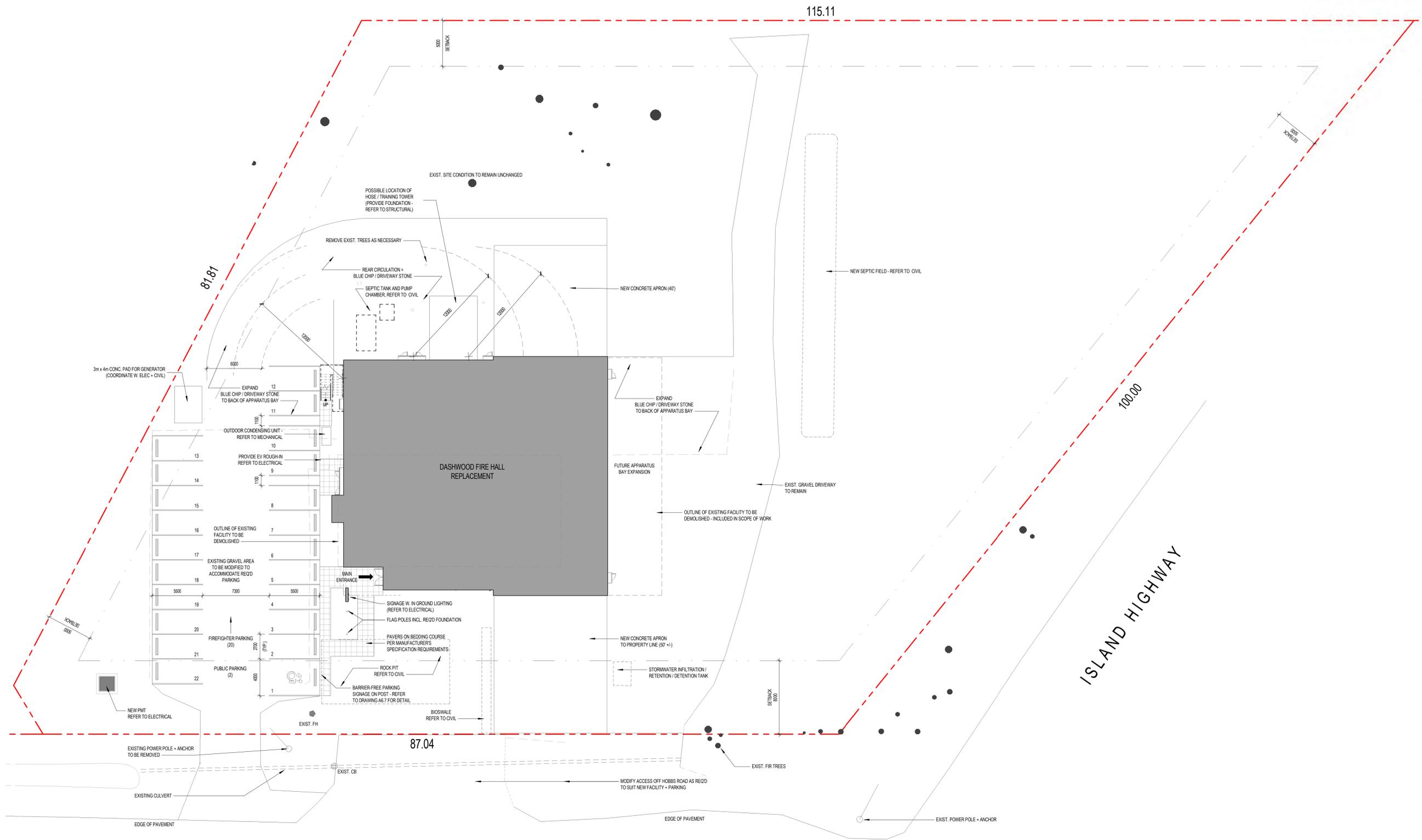
ROOM FINISH SCHEDULE

LEVEL	ROOM NO.	ENTRY	ROOM NAME	ROOM TYPE	FINISH SCHEDULE		FLOOR	BASE	FINISH	WALLS	NOTES
					FINISH	BASE					
01	100	ENTRY	LOBBY	CS	CS	RCB		GWB / PT			
01	101	CORRIDOR	CORRIDOR	CS	CS	RCB		GWB / PT			
01	102	ADMIN	OPEN OFFICE	CS	CS	RCB		GWB / PT			
01	103	FIRE CHIEF	OPEN OFFICE	RES	RES	RCB		GWB / PT			
01	104	OPEN OFFICE	OPEN OFFICE	RES	RES	RCB		GWB / PT			
01	105	STUDY / EXAM	OFFICE	RES	RES	RCB		GWB / PT			
01	106	OFFICE	OFFICE	RES	RES	RCB		GWB / PT			
01	107	STAIR 1	STAIR	RES	RES	RCB		GWB / PT			
01	108	MTG ROOM	OFFICE	RES	RES	RCB		GWB / PT			
01	109	ELEC	SERVICE	CS	CS	RCB		GWB / PT			
01	110	TRAINING / MEETING	TRAINING	RES	RES	RCB		GWB / PT			
01	110A	STOR	SERVICE	CS	CS	RCB		GWB / PT			
01	111	RADIO RM	OPEN OFFICE	CS	CS	RCB		GWB / PT			
01	112	IT	SERVICE	CS	CS	RCB		GWB / PT			
01	113	MECH-UT.	SERVICE	CS	CS	RCB		GWB / FRP			
01	114	UNIVERSAL WC	WASHROOM	CS	CS	RCB		GWB / PT			
01	115	WC	WASHROOM	CS	CS	RCB		GWB / PT			
01	116	GEAR ROOM	APP SUPPORT	CS	CS	RCB		GWB / PT			
01	117	APPARATUS BAYS	APPARATUS BAYS	CS	CS	RCB		GWB / PWDV			
01	118	WC	WASHROOM	CS	CS	RCB		GWB / PT			
01	119	LAUNDRY	APP SUPPORT	CS	CS	RCB		GWB / PT			
01	120	DECON.	APP SUPPORT	CS	CS	RCB		GWB / FRP			
01	121	SCBA-1	APP SUPPORT	CS	CS	RCB		GWB / PT			
01	122	WORKSHOP	APP SUPPORT	CS	CS	RCB		GWB / PT			

DOOR SCHEDULE

NUMBER	ROOM / FUNCTION	TYPE	DOOR				FRAME			FIRE RATING	EXT / INT	HARDWARE FUNCTION	REMARKS		
			WIDTH	HEIGHT	THICK	MATL	FINISH	GLASS	MATL					FINISH	CASING
01	D100	MAIN ENTRANCE	D3	1830	2135	45	AL	ANOD	TG	AL	ANOD	-	-	EXT	THERMALLY BROKEN STOREFRONT
01	D101	ENTRY VEST.	S3	915	2135	45	AL	ANOD	TG	AL	ANOD	-	-	INT	STOREFRONT
01	D105	OFFICE	S2	915	2135	45	SCW	WV	WG	PS	PT	-	45 MIN	INT	CLASSROOM
01	D106	STUDY / EXAM	S2	915	2135	45	SCW	WV	WG	PS	PT	-	45 MIN	INT	CLASSROOM
01	D107A	STAIR 1	S2	915	2135	45	SCW	WV	WG	PS	PT	-	45 MIN	INT	PASSAGE
01	D107B	STAIR 1 - EXIT	S1	915	2135	45	HMI	PT	-	PSI	PT	-	-	EXT	PAINTED RED OUTSIDE
01	D108	MEETING	S2	915	2135	45	SCW	WV	WG	PS	PT	-	45 MIN	INT	CLASSROOM
01	D109	ELECTRICAL ROOM	S1	915	2135	45	HMI	PT	-	PSI	PT	-	-	EXT	PAINTED RED OUTSIDE
01	D110	TRAINING / MEETING	D2	1830	2135	45	SCW	WV	-	CLG	AL	ANOD	-	INT	CLASSROOM VISION LIGHT
01	D110A	STORAGE	S1	915	2135	45	SCW	WV	-	AL	ANOD	-	45 MIN	INT	CLASSROOM
01	D110B	TRAINING / MEETING	S1	915	2135	45	HMI	PT	-	PSI	PT	-	-	EXT	PAINTED RED OUTSIDE
01	D112	IT	S1	915	2135	45	SCW	WV	-	AL	ANOD	-	-	INT	CLASSROOM
01	D113	MECHANICAL / UTILITY	S1	915	2135	45	SCW	WV	-	AL	ANOD	-	-	INT	CLASSROOM
01	D116	WC	S1	915	2135	45	SCW	WV	-	AL	ANOD	-	-	INT	CLASSROOM
01	D116A	WC	S1	915	2135	45	SCW	WV	-	AL	ANOD	-	-	INT	CLASSROOM
01	D116B	GEAR ROOM / EXT.	S1	915	2135	45	HMI	PT	-	PSI	PT	-	-	EXT	PAINTED RED OUTSIDE
01	D116C	GEAR ROOM / APPARATUS BAY	S1	915	2135	45	HMI	PT	-	PS	PT	-	1.5 HR	INT	CLASSROOM PAINTED RED OR GREY ON APPARATUS BY SIDE
01	D117A	APP BAY / CORR.	S1	915	2135	45	HMI	PT	-	PS	PT	-	1.5 HR	INT	CLASSROOM PAINTED RED OR GREY ON APPARATUS BY SIDE
01	D117B	APP BAY / CORR.	S1	915	2135	45	HMI	PT	-	PS	PT	-	1.5 HR	INT	CLASSROOM PAINTED RED OR GREY ON APPARATUS BY SIDE
01	D117C	APPARATUS BAY	S1	915	2135	45	HMI	PT	-	PSI	PT	-	-	EXT	PAINTED RED OUTSIDE
01	D117D	APPARATUS BAY	S1	915	2135	45	HMI	PT	-	PSI	PT	-	-	EXT	PAINTED RED OUTSIDE
01	D117E	APPARATUS BAY	S1	915	2135	45	HMI	PT	-	PSI	PT	-	-	EXT	PAINTED RED OUTSIDE
01	D118	WC	S1	915	2135	45	HMI	PT	-	PS	PT	-	-	INT	CLASSROOM PAINTED RED OR GREY ON APPARATUS BAY SIDE, STAINLESS STEEL KICKPLATE
01	D119	LAUNDRY	S1	915	2135	45	HMI	PT	-	PS	PT	-	-	INT	CLASSROOM PAINTED RED OR GREY ON APPARATUS BAY SIDE, STAINLESS STEEL KICKPLATE
01	D120	DECON.	S1	915	2135	45	HMI	PT	-	PS	PT	-	-	INT	CLASSROOM PAINTED RED OR GREY ON APPARATUS BAY SIDE, STAINLESS STEEL KICKPLATE
01	D121	SCBA-1	S1	915	2135	45	HMI	PT	-	PS	PT	-	-	INT	CLASSROOM PAINTED RED OR GREY ON APPARATUS BAY SIDE, STAINLESS STEEL KICKPLATE
01	D-OH1	OVERHEAD	OH1	4300	4300	51	HMI	PT	CLG	PSI	PT	-	-	EXT	1 ROW OF VISION LIGHT
01	D-OH2	OVERHEAD	OH1	4300	4300	51	HMI	PT	CLG	PSI	PT	-	-	EXT	1 ROW OF VISION LIGHT
01	D-OH3	OVERHEAD	OH1	4300	4300	51	HMI	PT	CLG	PSI	PT	-	-	EXT	1 ROW OF VISION LIGHT
01	D-OH4	OVERHEAD	OH1	4300	4300	51	HMI	PT	CLG	PSI	PT	-	-	EXT	1 ROW OF VISION LIGHT
02	D122	STORAGE	S1	915	2135	45	SCW	WV	-	AL	ANOD	-	-	INT	CLASSROOM
02	D200B	STORAGE	S1	915	2135	45	SCW	WV	-	AL	ANOD	-	-	INT	CLASSROOM
02	D200D	DAYROOM PATIO	D3	1830	2135	45	AL	ANOD	TG	AL	ANOD	-	-	EXT	THERMALLY BROKEN STOREFRONT
02	D201	WC	S1	915	2135	45	SCW	WV	-	AL	ANOD	-	-	INT	CLASSROOM
02	D202	WC	S1	915	2135	45	SCW	WV	-	AL	ANOD	-	-	INT	CLASSROOM
02	D203	FITNESS AREA	S2	915	2135	45	SCW	WV	-	AL	ANOD	-	-	INT	CLASSROOM
02	D203A	LAUNDRY	D1	1220	2135	45	SCW	WV	-	AL	ANOD	-	-	INT	PASSAGE GATE W. HASP FOR PADLOCK OR LATCH
02	D204	STORAGE LOFT	S1	915	2135	45	HMI	PT	-	PS	PT	-	1.5 HR	INT	CLASSROOM
02	D205A	GATE	D4	1830	1100	45	ST	PT	-	AL	ANOD	-	-	INT	PASSAGE
02	D205	SCBA-2	S1	915	2135	45	SCW	WV	-	AL	ANOD	-	-	INT	CLASSROOM
02	D206	DORMS	S2	915	2135	45	SCW	WV	-	AL	ANOD	-	45 MIN	INT	CLASSROOM
02	D206A	DORM-1	S1	780	2135	45	SCW	WV	-	AL	ANOD	-	-	INT	CLASSROOM
02	D206B	DORM-2	S1	780	2135	45	SCW	WV	-	AL	ANOD	-	-	INT	CLASSROOM
02	D206C	DORM-3	S1	780	2135	45	SCW	WV	-	AL	ANOD	-	-	INT	CLASSROOM
02	D206D	DORM-4	S1	780	2135	45	SCW	WV	-	AL	ANOD	-	-	INT	CLASSROOM
02	D207	STAIR 1	S2	915	2135	45	SCW	WV	WG	PS	PT	-	45 MIN	INT	PASSAGE
02	D208	EXT. / DAYROOM	S1	915	2135	45	HMI	PT	-	PSI	PT	-	-		

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1 SITE PLAN
A1.0 1 : 200

NO.	DATE	DESCRIPTION
5	2022-07-22	ISSUED FOR TENDER
4	2022-05-20	ISSUED FOR CLASS A COSTING
3	2022-03-04	ISSUED FOR BUILDING PERMIT
2	2021-09-27	ISSUED FOR 100% DD
1	2021-08-25	ISSUED FOR 60% DD

SEAL

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Robert Rocheleau, Architect, AIBC
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DASHWOOD FIRE HALL REPLACEMENT

230 HOBBS ROAD
QUALICUM BEACH BC

SHEET TITLE
SITE PLAN

DATE	2022-01-14	SHEET NO.
PROJECT NO.	20-007	A1.0
SCALE	1 : 200	
DRAWN BY	HS	

PLAN KEYNOTES

- 101 FIRE DEPARTMENT CONNECTION, SEE MECHANICAL
- 102 FIRE ALARM ANNUNCIATOR PANEL
- 103 SPRINKLER TREE, SEE MECHANICAL
- 104 MECHANICAL UNIT, COORDINATE WITH MECHANICAL
- 111 PUSH BUTTON, ACCESSIBLE AUTOMATIC DOOR OPERATOR, SEE ELECTRICAL

EQUIPMENT KEYNOTES

- 01 OXYGEN STORAGE TANKS (MILLWORK)
- 02 STAINLESS STEEL COUNTER + SINK
- 05 WORKSHOP
- 07 TURNOUT GEAR WASHER
- 10 RED / GREEN LIGHTS FOR OH DOORS
- 11 I AM RESPONDING TV WITH ITS OWN COMPUTER AND REMOTE MONITORS CONNECTED BY WIFI
- 12 HOSEBIBS FOR TRUCK FILL AND WASH
- 14 HOSEBIB
- 15 CORD REEL - 4 DROPS IN APPARATUS BAY (DRIVER SIDE OF VEHICLE)
- 16 COMPRESSED AIR - 4 DROPS IN APPARATUS BAY, 1 IN WORKSHOP, 1 IN SCBA
- 17 OVERHEAD DOOR PUSH BUTTONS X 4 ON WALL
- 19 COMPUTER AIDED DISPATCH - LOCATED IN RADIO ROOM CONNECTED BY HDMI TO MONITORS IN TRAINING ROOM, GEAR ROOM, OFFICE AREA (MAIN) AND DAY ROOM
- 22 KILL SWITCH
- 23 GATE ON STORAGE 204 + CRANE (NIC)
- 24 COMPRESSOR (NIC)

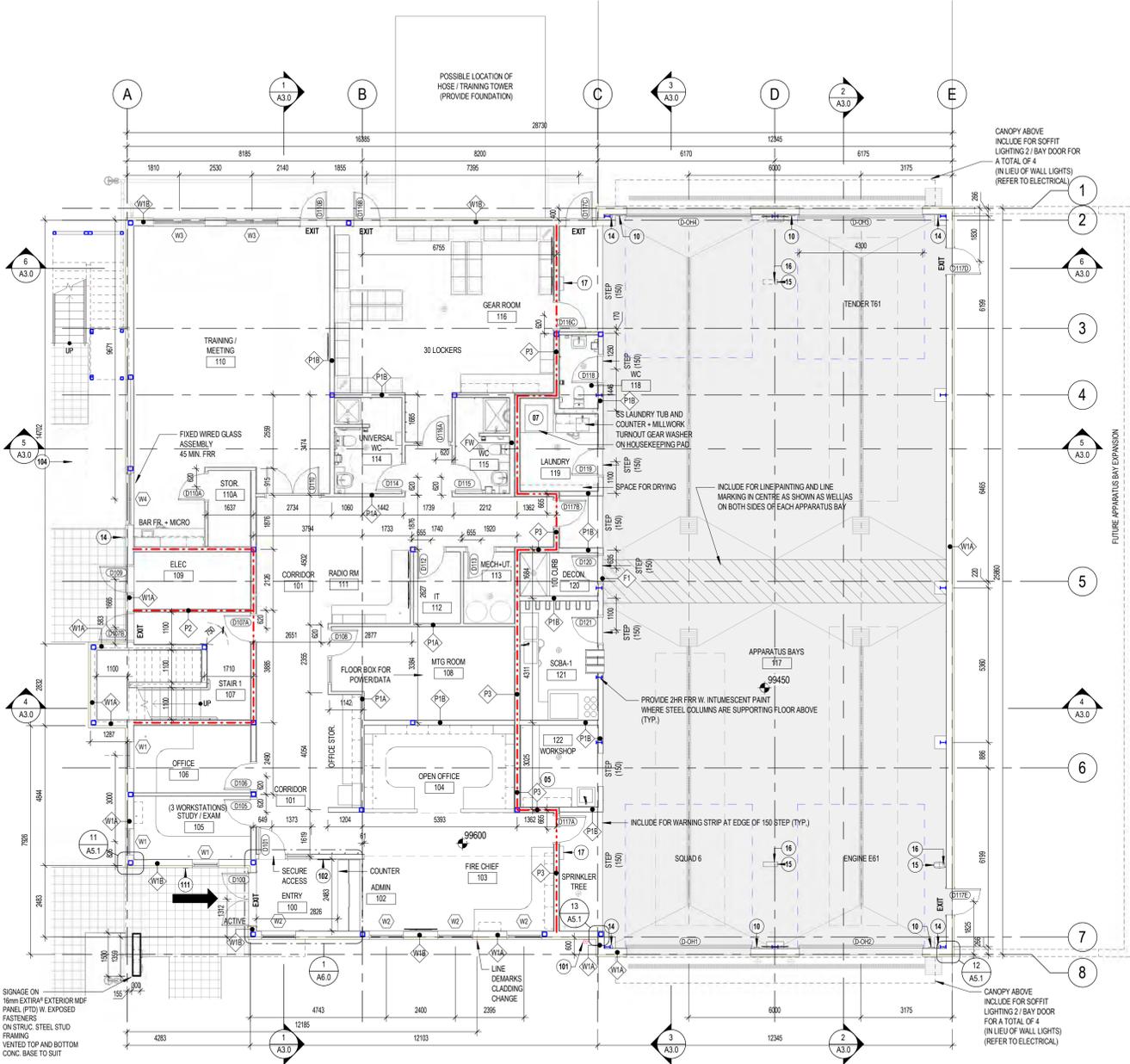
NOTES

- 1. PRE-ENGINEERED STEEL BUILDING PACKAGE INCLUDES: EXTERIOR BUILDING ENVELOPE, CLADDING, EXTERIOR WINDOWS AND DOORS, LEVEL 2 FLOOR AND STAIRS.
- 2. GENERAL CONTRACT INCLUDES: ALL INTERIOR AND SECOND FLOOR FRAMING, FINISHING, INTERIOR DOORS, AND MILLWORK (APPLIANCES NIC).
- 3. IAS-TV - I AM RESPONDING WITH ITS OWN COMPUTER AND REMOTE MONITORS CONNECTED BY WIFI
- 4. TV = FOR ENTERTAINMENT
- 5. CAD = COMPUTER AIDED DISPATCH - LOCATED IN RADIO ROOM CONNECTED BY HDMI TO MONITORS IN TRAINING ROOM GEAR ROOM, OFFICE AREA (MAIN) AND DAYROOM
- 6. MEMBERS OPERATE W. PAGER
- 7. OH DOORS TO BE OPERATED W. WALL MOUNTED DOOR OPENERS - OPTION FOR MANUAL OPERATION
- 8. KS = KILL SWITCH IN DAYROOM
- 9. CALL-OUT = BASE STATION RADIO THAT WILL NEED TO BE DISTRIBUTED THROUGHOUT THE BUILDING
- 10. CA = COMPRESSED AIR - 4 DROPS IN APPARATUS BAY, 1 IN WORKSHOP, 1 IN SCBA-1 (SHOP AIR TO COME FROM SCBA COMPRESSOR OR NEDERMAN)
- 11. CR = CORD REEL - 4 DROPS IN APPARATUS BAY

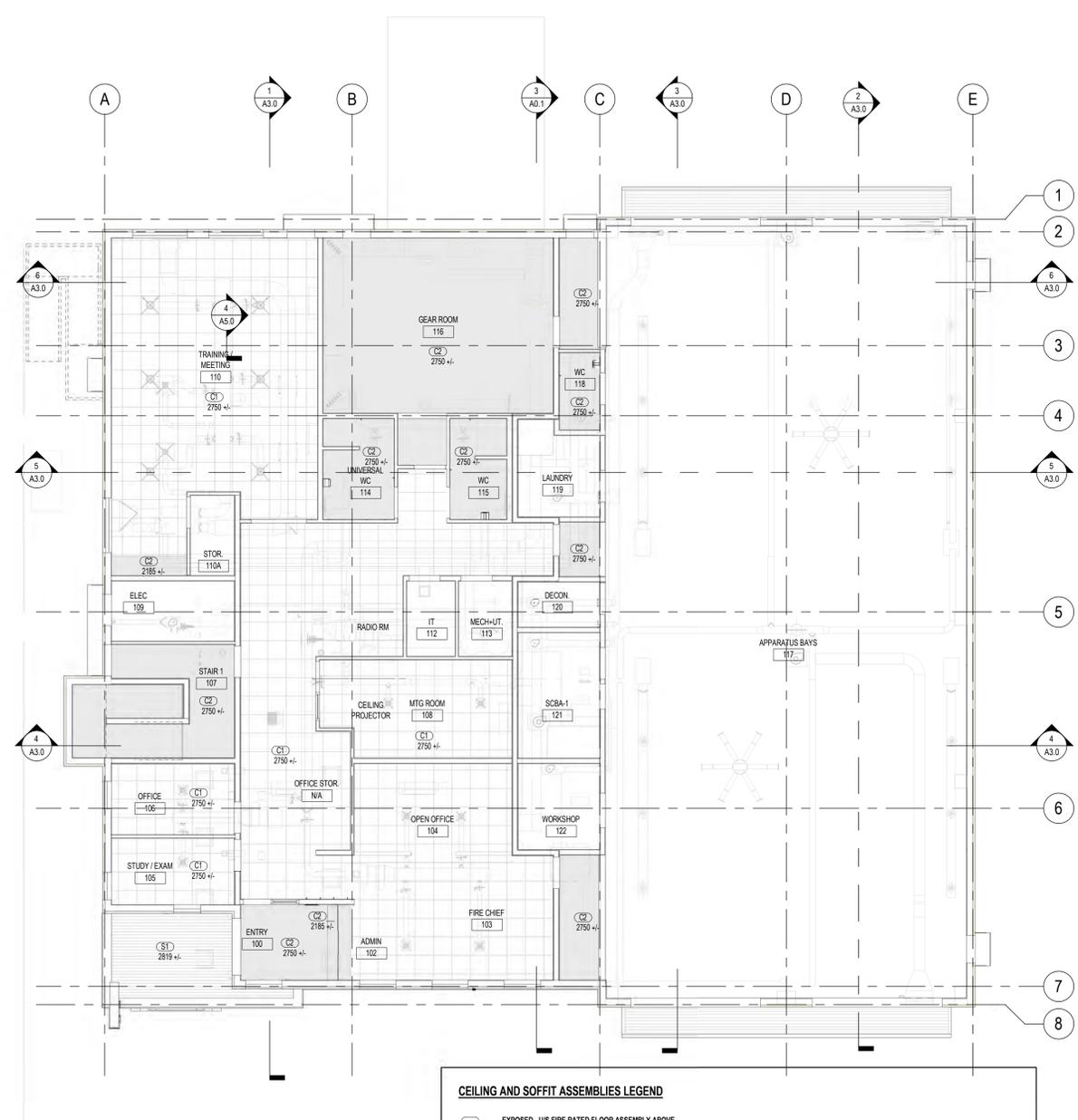


FIRE SEPARATION LEGEND	
LINE PATTERN	HOURS
	0.75
	1
	1.5
	2

"NOTE"
ALL PENETRATIONS TO BE FIRESTOPPED W. APPROVED UL/C SYSTEMS BY HILTI, 3M OR EQUIVALENT



1 LEVEL 01 FLOOR PLAN
1 : 100



2 LEVEL 01 REFLECTED CEILING PLAN
1 : 100

CEILING AND SOFFIT ASSEMBLIES LEGEND

	EXPOSED - US FIRE RATED FLOOR ASSEMBLY ABOVE		PREFINISHED METAL (VENTED) SOFFIT
	CEILING FINISH PER RATED ASSEMBLY - PENETRATIONS RESTRICTED W. FIRESTOPPING - SURFACE MOUNT FIXTURES / DUCTS		PREFINISHED PERFORATED METAL SOFFIT (CENTEX COLOUR 1) WOOD DECK JOIST OR SUSPENDED SOFFIT JOIST TO SUIT
	ACOUSTIC CEILING TILE 600 X 600 mm ACOUSTIC TILE CEILING PANEL ON SUSPENDED T-BAR CEILING JOIST		
	SUSPENDED GYPSUM BOARD CEILING 16 mm SAG RESISTANT GYPSUM BOARD, PAINTED, ON 92 mm SUSPENDED C-STUD JOIST @ 600 mm O.C. BOTHWAYS		

NO.	DATE	DESCRIPTION
5	2022-07-22	ISSUED FOR TENDER
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3	2022-03-04	ISSUED FOR BUILDING PERMIT
2	2021-09-27	ISSUED FOR 100% DD
1	2021-08-25	ISSUED FOR 60% DD

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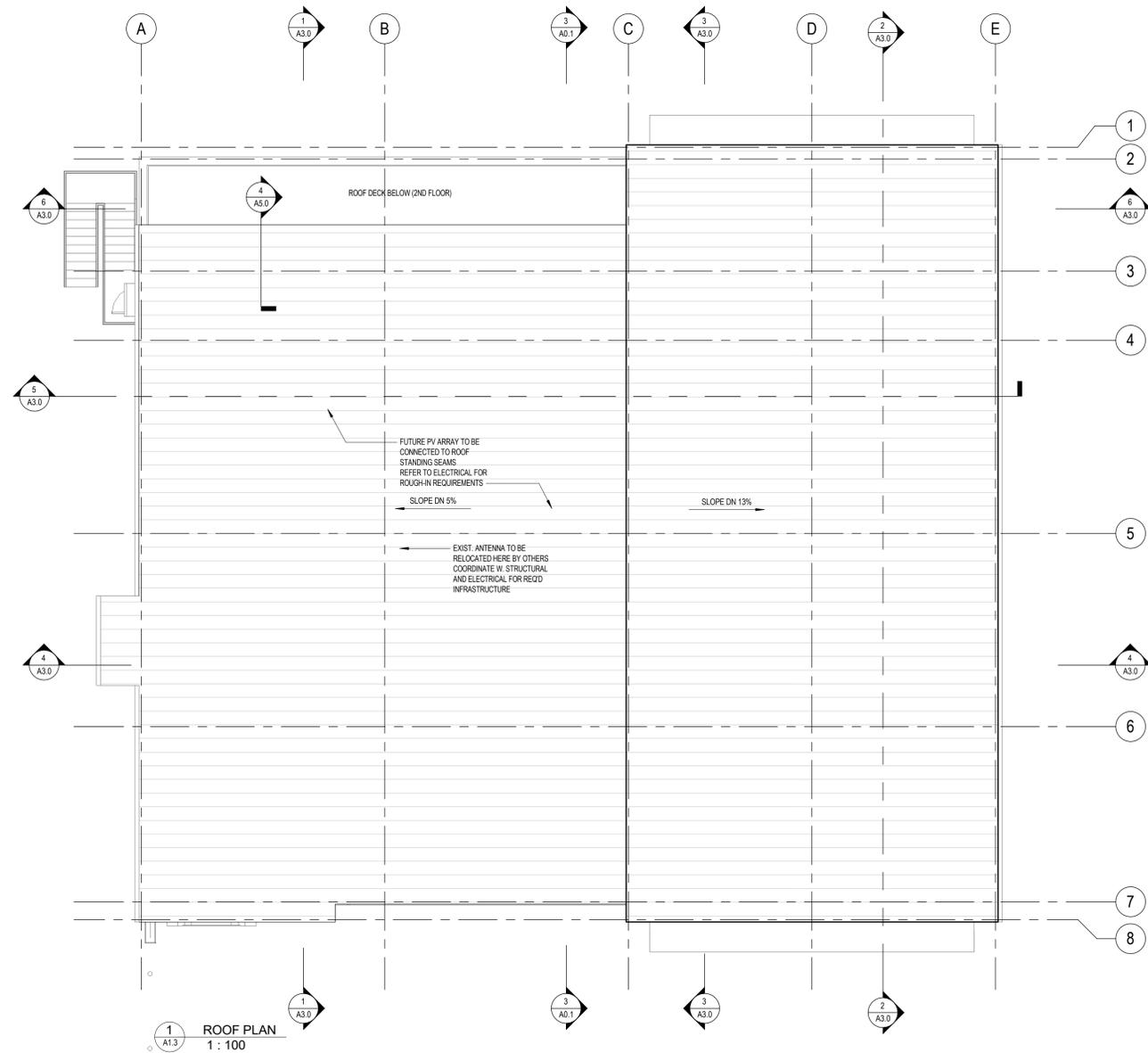
PROJECT TITLE
DASHWOOD FIRE HALL REPLACEMENT

230 HOBBS ROAD
QUALICUM BEACH BC

SHEET TITLE
LEVEL 01 FLOOR PLAN + RCP

DATE	2022-01-14	SHEET NO.
PROJECT NO.	20-007	
SCALE	As indicated	A1.1
DRAWN BY	KD	

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2	2021-09-27	ISSUED FOR 100% DD
1	2021-08-25	ISSUED FOR 60% DD

NO.	DATE	DESCRIPTION
-----	------	-------------

SEAL

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PROJECT TITLE
DASHWOOD FIRE HALL REPLACEMENT

230 HOBBS ROAD
QUALICUM BEACH BC

SHEET TITLE

ROOF PLAN

DATE	2022-01-14	SHEET NO.
PROJECT NO.	20-007	A1.3
SCALE	1: 100	
DRAWN BY	HS	

PLAN KEYNOTES

- 101 FIRE DEPARTMENT CONNECTION, SEE MECHANICAL
- 102 FIRE ALARM ANNUNCIATOR PANEL
- 103 SPRINKLER TREE, SEE MECHANICAL
- 104 MECHANICAL UNIT, COORDINATE WITH MECHANICAL
- 111 PUSH BUTTON, ACCESSIBLE AUTOMATIC DOOR OPERATOR, SEE ELECTRICAL

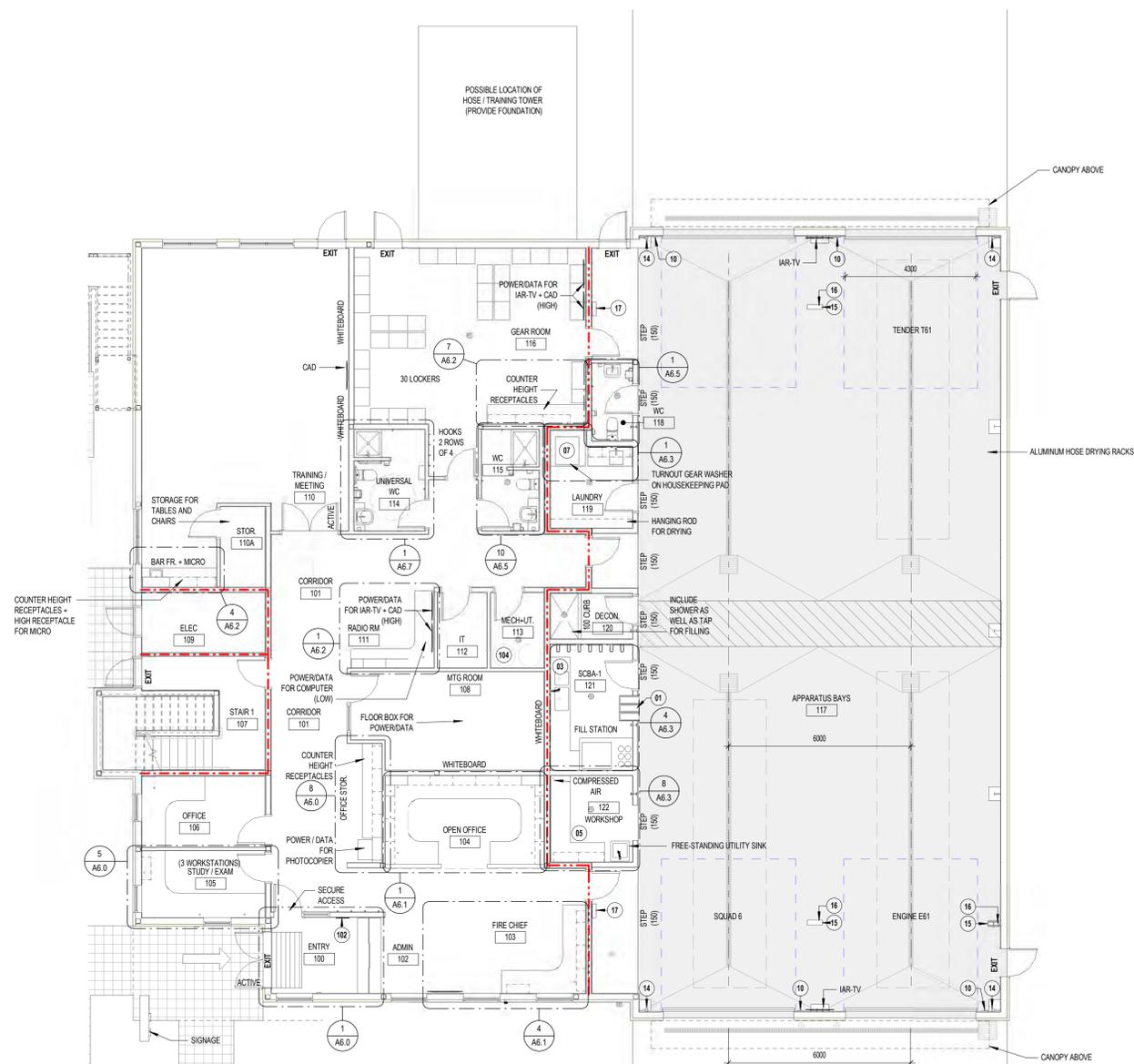
EQUIPMENT KEYNOTES

- 01 OXYGEN STORAGE TANKS (MILLWORK)
- 03 STAINLESS STEEL COUNTER + SINK
- 05 WORKSHOP
- 07 TURNOUT GEAR WASHER
- 10 RED / GREEN LIGHTS FOR OH DOORS
- 11 1 AM RESPONDING TV WITH ITS OWN COMPUTER AND REMOTE MONITORS CONNECTED BY WIFI
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- 19 COMPUTER AIDED DISPATCH - LOCATED IN RADIO ROOM CONNECTED BY HDMI TO MONITORS IN TRAINING ROOM, GEAR ROOM, OFFICE AREA (MAIN) AND DAY ROOM
- 22 KILL SWITCH
- 23 GATE ON STORAGE 204 + CRANE (NIC)
- 24 COMPRESSOR (NIC)

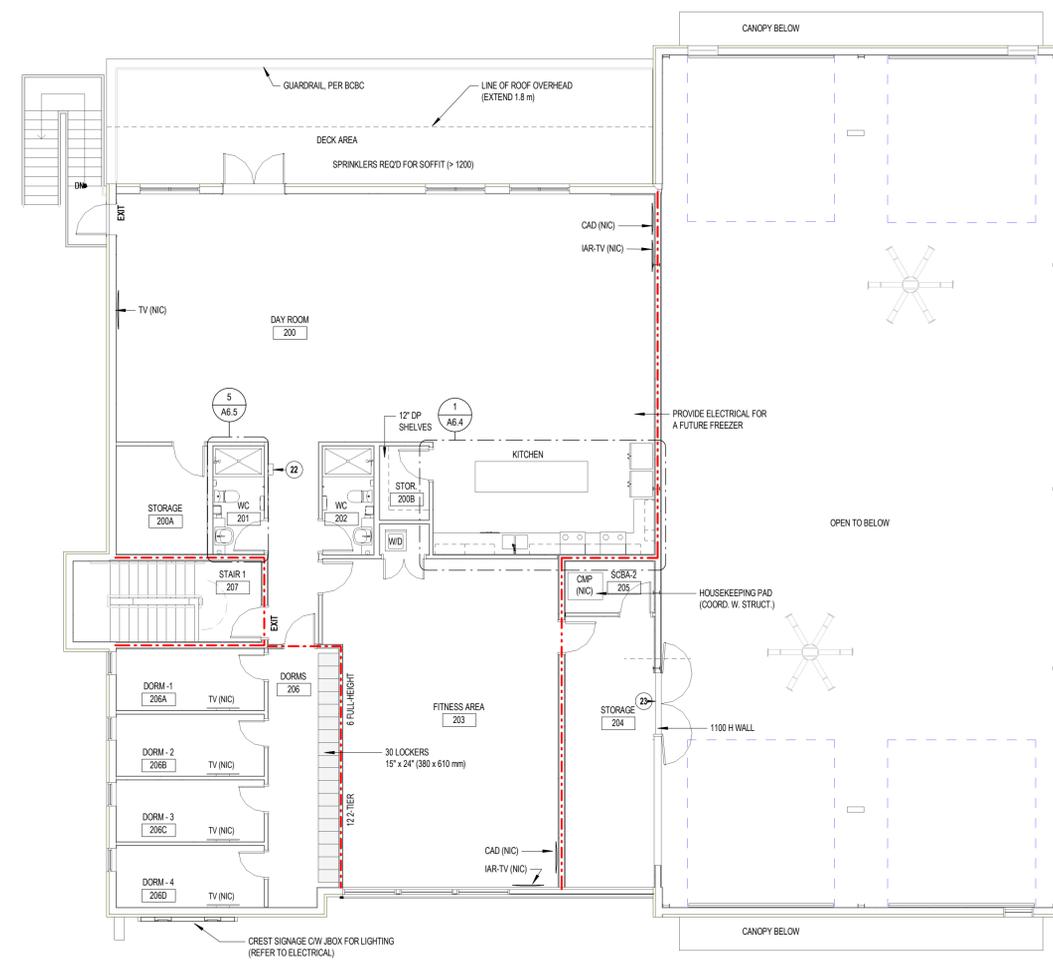


FIRE SEPARATION LEGEND	
LINE PATTERN	HOURS
	0.75
	1
	1.5
	2

"NOTE"
ALL PENETRATIONS TO BE FIRESTOPPED W/ APPROVED UL/C SYSTEMS BY HILTI, 3M OR EQUIVALENT



① LEVEL 01 FIXTURES + FINISHES
1 : 100



② LEVEL 02 FIXTURES + FINISHES
1 : 100

NO.	DATE	DESCRIPTION
5	2022-07-22	ISSUED FOR TENDER

SEAL

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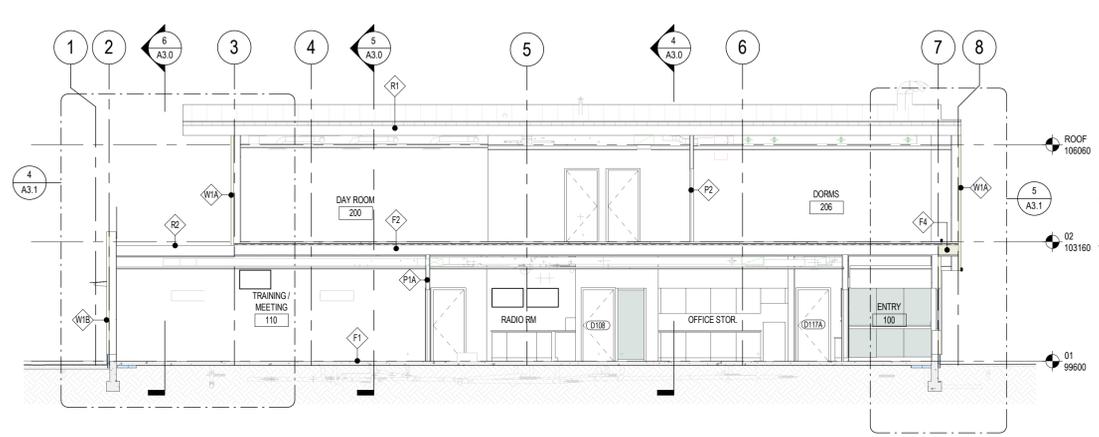
DASHWOOD FIRE HALL REPLACEMENT

230 HOBBS ROAD
QUALICUM BEACH BC

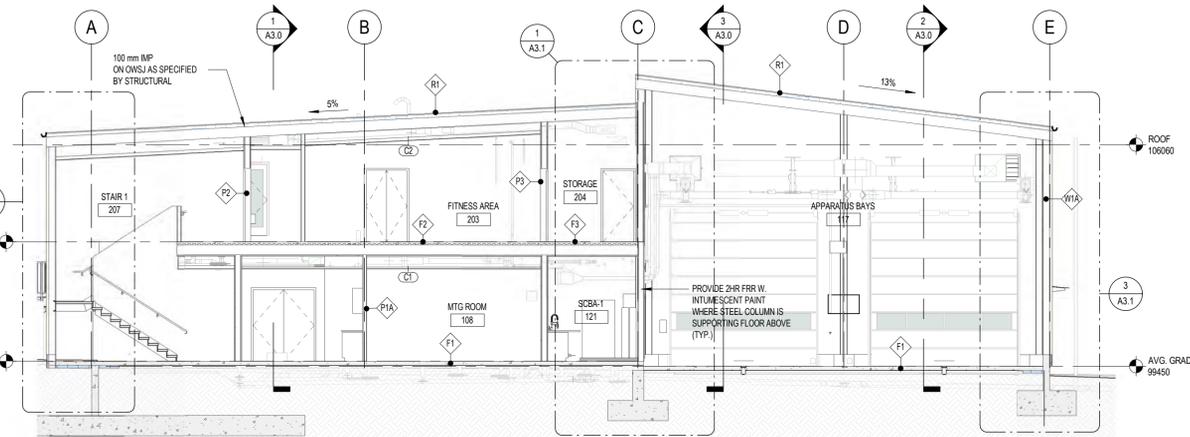
SHEET TITLE
LEVEL 01 + 02 FIXTURES AND FINISHES

DATE	2022-01-14	SHEET NO.
PROJECT NO.	20-007	A1.4
SCALE	As Indicated	
DRAWN BY	Author	

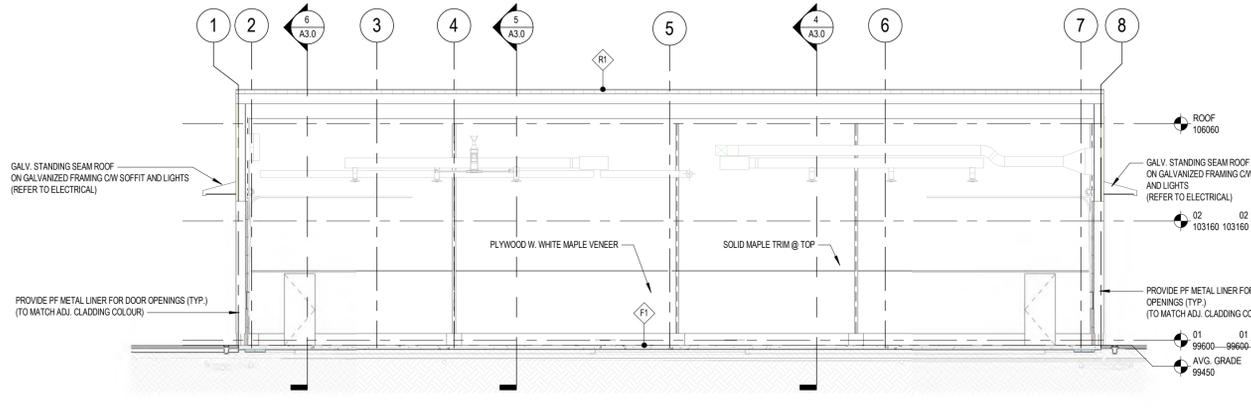
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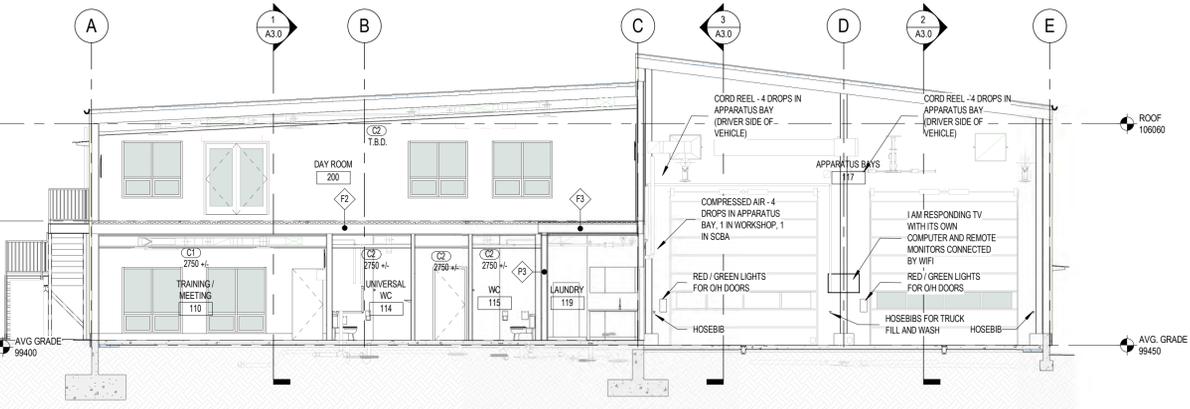
1 LONG SECTION 1
1 : 100



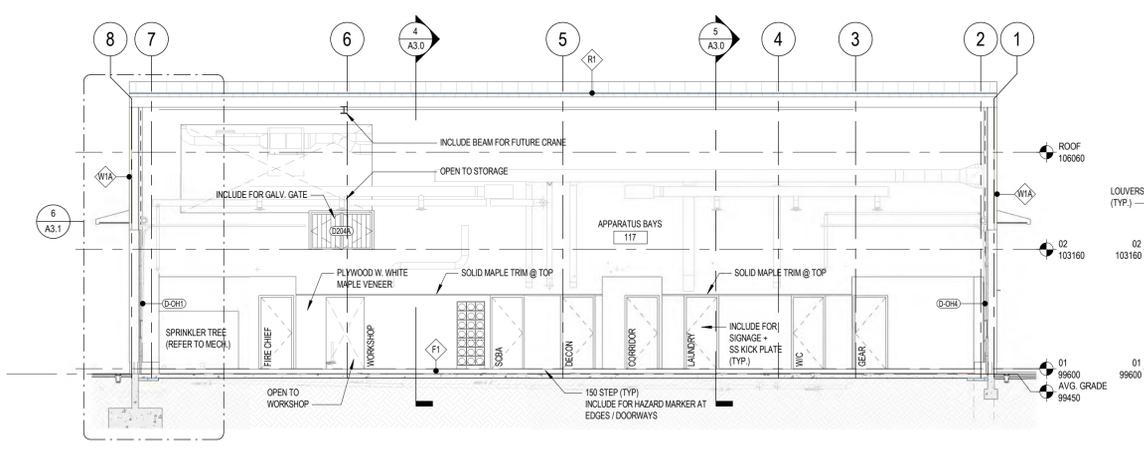
4 CROSS SECTION 1
1 : 100



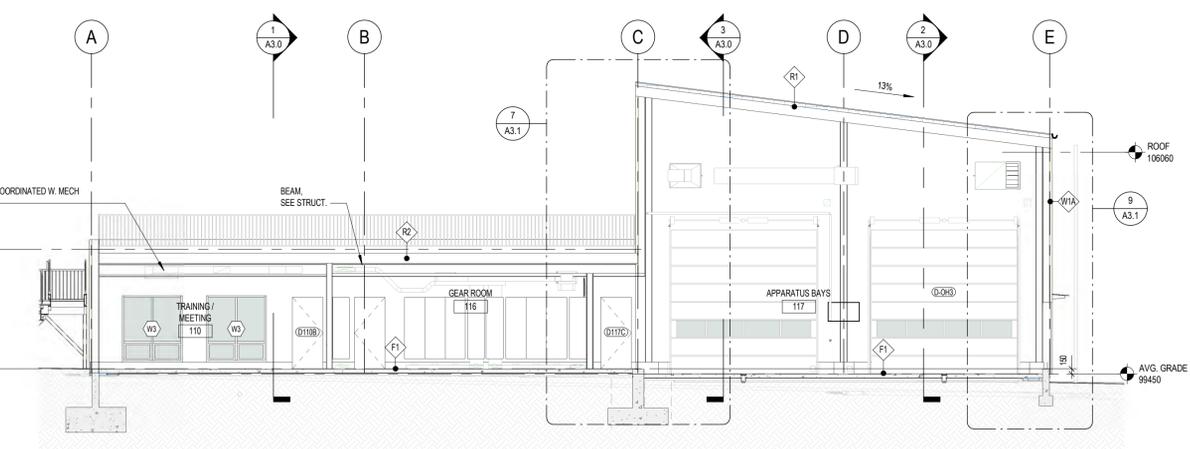
2 LONG SECTION 2
1 : 100



5 CROSS SECTION 2
1 : 100



3 LONG SECTION 3
1 : 100



6 CROSS SECTION 3
1 : 100

NO.	DATE	DESCRIPTION
5	2022-07-22	ISSUED FOR TENDER
4	2022-05-20	ISSUED FOR CLASS A COSTING
3	2022-03-04	ISSUED FOR BUILDING PERMIT
2	2021-09-27	ISSUED FOR 100% DD

NO.	DATE	DESCRIPTION
SEAL		

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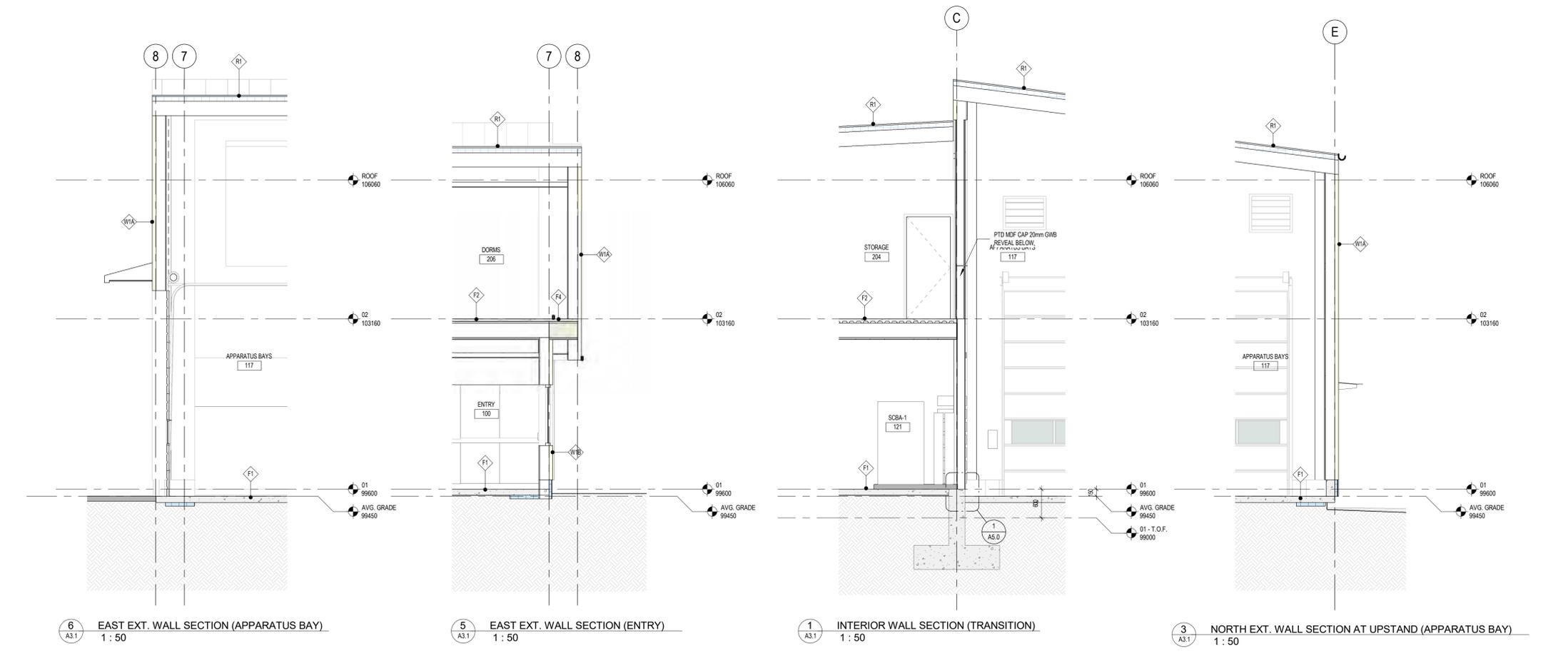
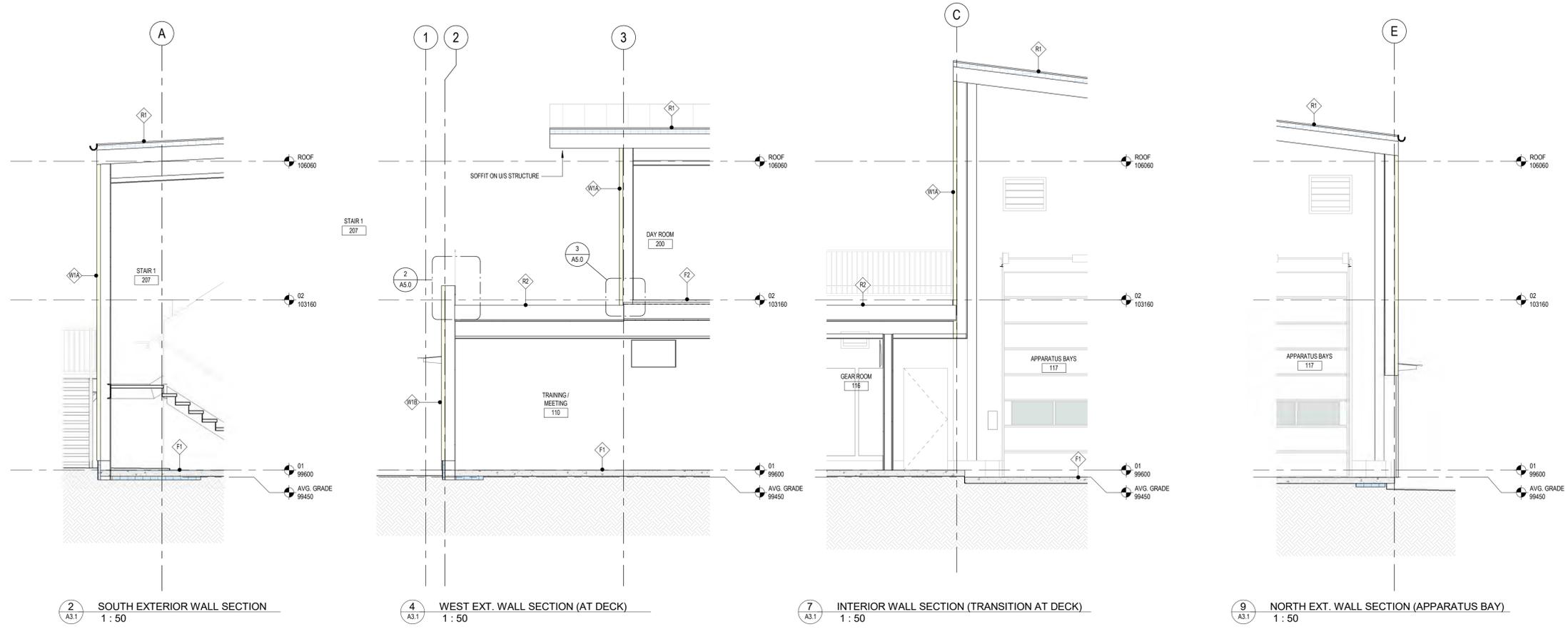
PROJECT TITLE
DASHWOOD FIRE HALL REPLACEMENT

230 HOBBS ROAD
 QUALICUM BEACH BC

SHEET TITLE
BUILDING SECTIONS

DATE	2022-01-14	SHEET NO.	
PROJECT NO.	20-007		
SCALE	1 : 100		A3.0
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NO.	DATE	DESCRIPTION
5	2022-07-22	ISSUED FOR TENDER
4	2022-05-20	ISSUED FOR CLASS A COSTING
3	2022-03-04	ISSUED FOR BUILDING PERMIT
2	2021-09-27	ISSUED FOR 100% DD

SEAL

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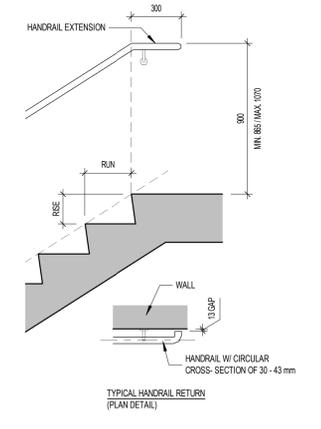
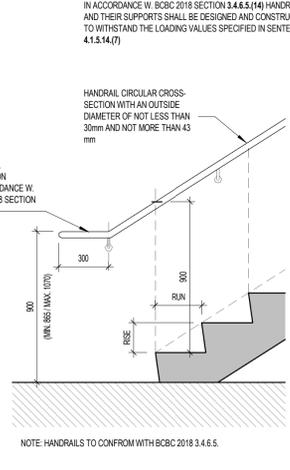
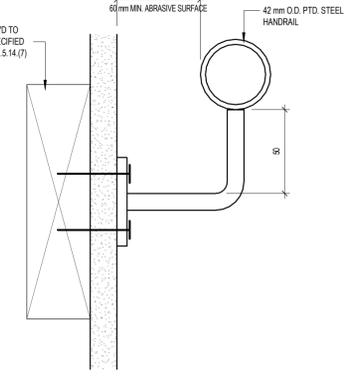
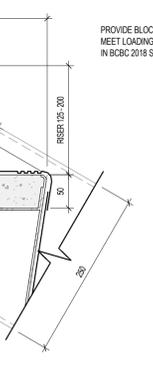
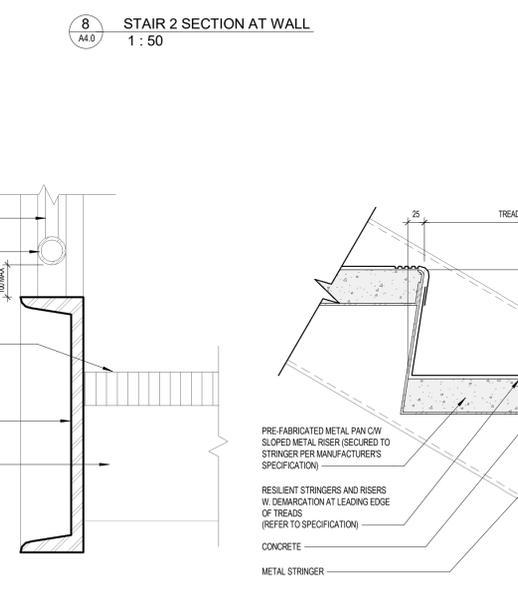
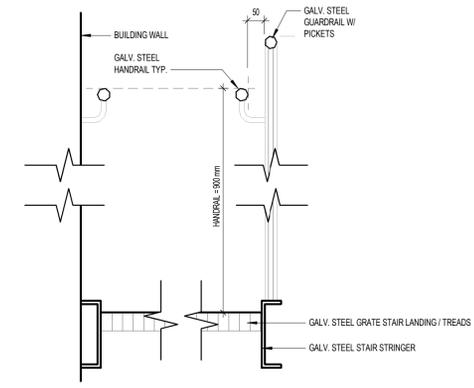
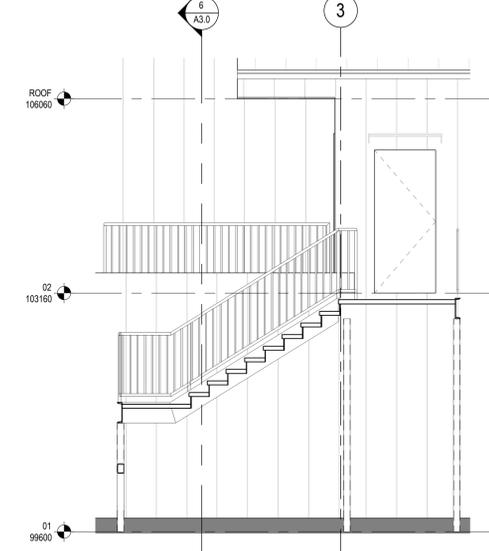
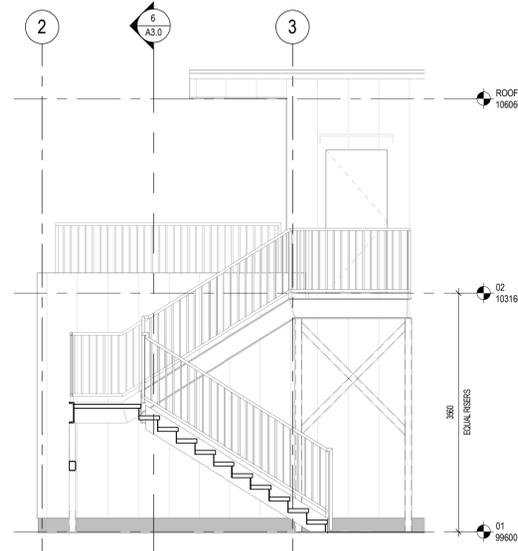
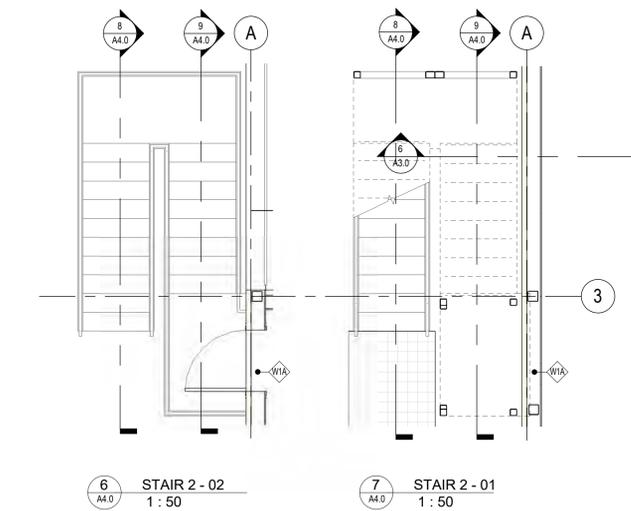
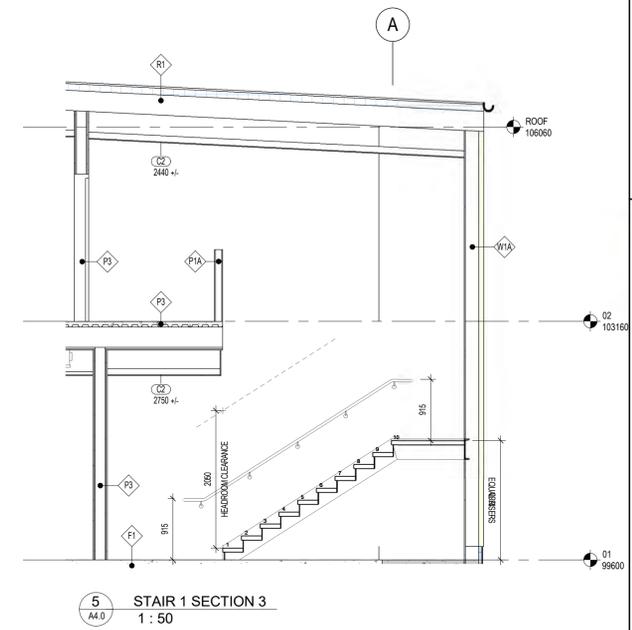
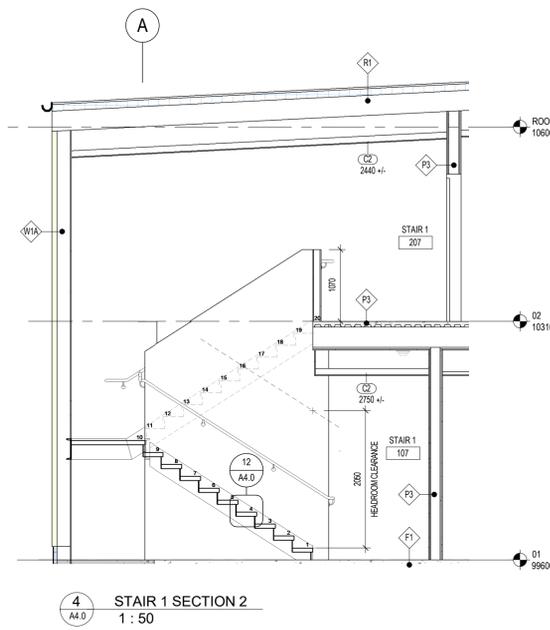
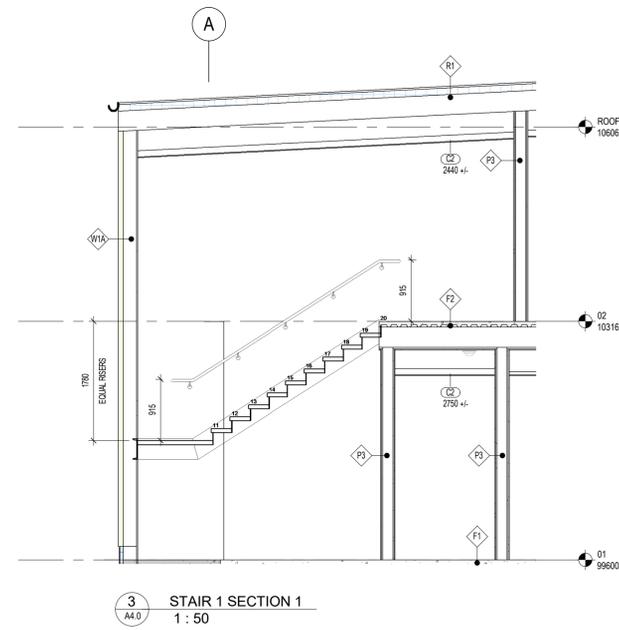
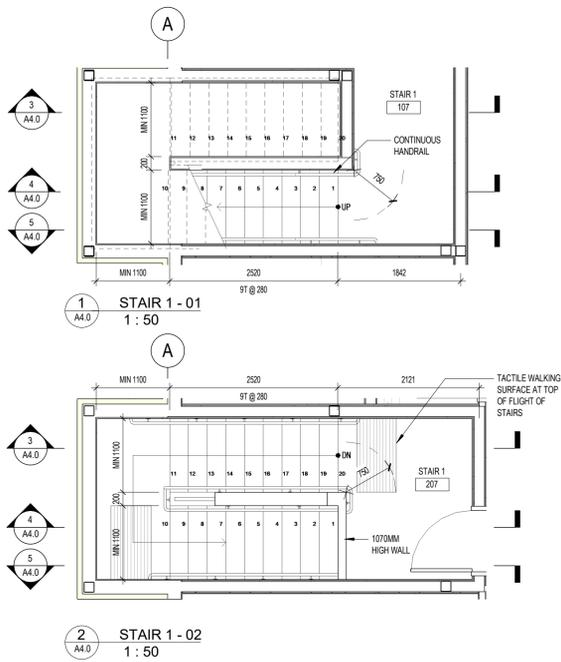
PROJECT TITLE
 DASHWOOD FIRE HALL REPLACEMENT

230 HOBBS ROAD
 QUALICUM BEACH BC

SHEET TITLE
 WALL SECTIONS

DATE	2022-01-14	SHEET NO.
PROJECT NO.	20-007	A3.1
SCALE	1 : 50	
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STAIR NOTES

- LISTED BELOW IS A SUMMARY OF CODE ITEMS FOR STAIRS REFER TO BCBC 2018 FOR ADDITIONAL INFORMATION
- DOOR SWINGS** SHALL NOT REDUCE REQUIRED EXIT WIDTH TO LESS THAN 750 mm. AND HANDRAILS SHALL NOT PROJECT MORE THAN 100 mm INTO REQUIRED WIDTH. BCBC 2018: EXIT WIDTH REDUCTION 3.4.3.3
 - HANDRAILS** SHALL:
 - BE CONTINUOUSLY GRASPABLE
 - HAVE A CIRCULAR CROSS-SECTION W/ O'S DIAMETER MIN. 30 mm - MAX. 43 mm
 - HAVE A NON-CIRCULAR CROSS-SECTION W/ A PERIMETER MIN. 100 mm
 - MAX. 125 mm AND W/ A MAX. CROSS-SECTION DIM. OF 45 mm.
 - BE MIN. 825 mm - MAX. 1070 mm HIGH
 - HAVE A CLEARANCE OF MIN. 50 mm OR 80 mm IF SURFACE BEHIND IS ABRASIVE.
 - AT LEAST ONE SHALL:
 - BE CONTINUOUS
 - EXTEND HORIZONTALLY NOT LESS THAN 300 mm BEYOND THE TOP & BOTTOM OF STAIRWAY OR RAMP
 - GUARDS** SHALL:
 - BE NOT LESS THAN 1070mm HIGH
 - HAVE OPENINGS THAT PREVENT THE PASSAGE OF A SPHERICAL OBJECT W/ISE DIAM. IS MORE THAN 100mm.
 - BE PROVIDED AT:
 - EVERY EXT. IF NO WALL
 - EACH RAISED FLOOR, MEZZANINE, BALCONY, GALLERY, INT. OR VEHICULAR RAMP OR OTHER LOCATIONS WHERE:
 - ELEVATION >600mm BETWEEN ADJACENT SURFACE (OR) ADJACENT SURFACE WITHIN 1.2M HAS GREATER SLOPE THAN 1:2
 - STAIRS** SHALL:
 - HAVE A RUN OF MIN. 200 mm AND A RISE BETWEEN 125 - 190 mm.
 - HAVE NO OPEN RISERS
 - RISERS** SHALL:
 - BE UNIFORM IN HEIGHT IN ANY ONE FLIGHT
 - HAVE A MAX. TOLERANCE OF: 5 mm BETWEEN ADJACENT TREADS OR LANDINGS, AND 10mm BETWEEN TALLEST AND SHORTEST RISERS IN A FLIGHT
 - TREADS** SHALL:
 - HAVE A UNIFORM RUN
 - HAVE A MAX. TOLERANCE OF: 5 mm BETWEEN ADJACENT TREADS, AND 10mm BETWEEN DEEPEST AND SHALLOWEST TREADS IN A FLIGHT
 - NOISING OF TREADS** SHALL:
 - HAVE EITHER A RADIUS OR A BEVEL BETWEEN 6 - 10 mm (HOR.) OR
 - HAVE NO ABRUPT ANGLES ON UNDERSIDE, AND
 - NOT PROJECT MORE THAN 38 mm.
 - IF A RESILIENT MATERIAL IS USED TO COVER STAIR NOISING, ROUNDED OR BEVELED EDGE MAY BE REDUCED TO 3 mm.
 - BCBC 2018: TREADS AND RISERS 3.4.6.8
 - HAVE EITHER A COLOUR CONTRAST OR A DISTINCTIVE PATTERN, READILY VISIBLE FROM BOTH DIRECTIONS OF TRAVEL, TO DEMARCATATE THE LEADING EDGE OF THE TREAD.
 - BCBC 2018: SLIP RESISTANCE OF RAMPS AND STAIRS 3.4.6.1
 - NUMBERS** INDICATING THE ASSIGNED FLOOR NUMBER SHALL:
 - BE MOUNTED PERMANENTLY ON STAIR SIDE OF WALL ON LATCH SIDE OF DOORS
 - BE MIN. 60 mm HIGH, RAISED APPROX. 7 mm ABOVE THE SURFACE
 - BE LOCATED SO AS TO AVOID SHADOW AREAS AND SURFACE GLARE
 - HAVE CHARACTERS AND SYMBOLS CONTRASTING WITH BACKGROUND
 - BCBC 2018: FLOOR NUMBERING 3.4.6.19
 - TACTILE WALKING SURFACE INDICATORS** SHALL:
 - BE SLIP RESISTANT
 - BE DURABLE
 - BE NOT MORE THAN 3 mm ABOVE OR BELOW SURROUNDING SURFACE
 - BE DETECTABLE WHEN WALKED UPON (DIFF. FROM SURROUNDING SURFACE)
 - BE IN CONTRASTING COLOUR TO SURROUNDING SURFACE
 - AT STAIRS, BE LOCATED ONE TREAD WIDTH BACK FROM TOP RISER AND MEASURE 600 - 800 mm BY FULL WIDTH OF STAIR
 - BE LOCATED AT LANDINGS, AT THE TOP OF FLIGHTS OF STAIRS
 - BCBC 2018: SIGNS AND INDICATORS 3.8.2.9
 - BCBC 2018: SIGNS AND INDICATORS 3.8.2.10

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2	2021-09-27	ISSUED FOR 100% DD
1	2021-08-25	ISSUED FOR 60% DD

NO.	DATE	DESCRIPTION
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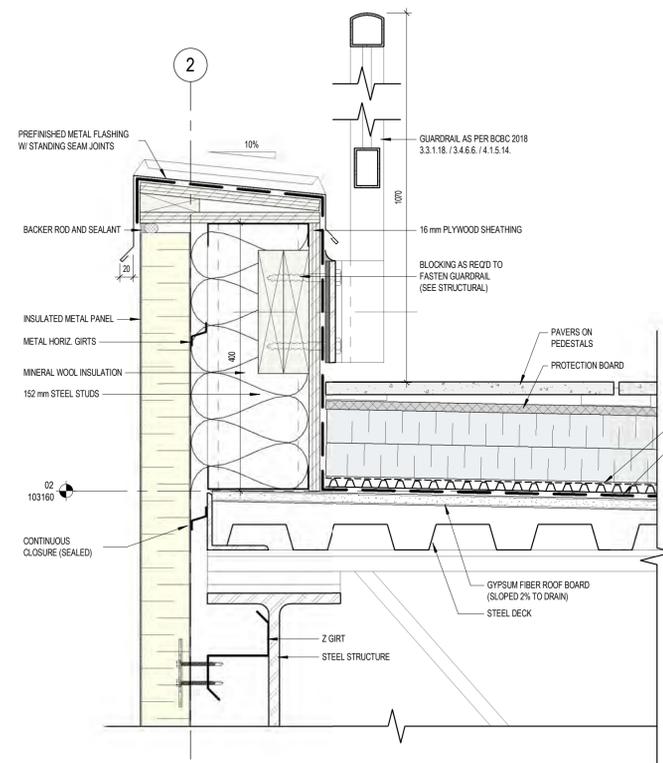
PROJECT TITLE
DASHWOOD FIRE HALL REPLACEMENT

230 HOBBS ROAD
QUALICUM BEACH BC

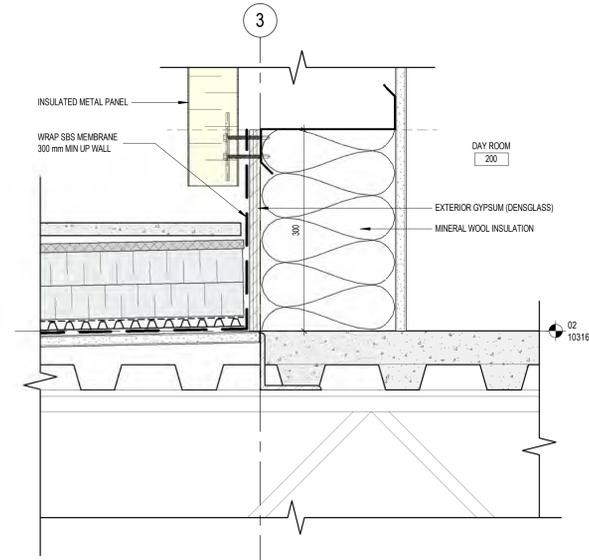
SHEET TITLE
STAIR DETAILS

DATE	2022-01-14	SHEET NO.
PROJECT NO.	20-007	A4.0
SCALE	As indicated	
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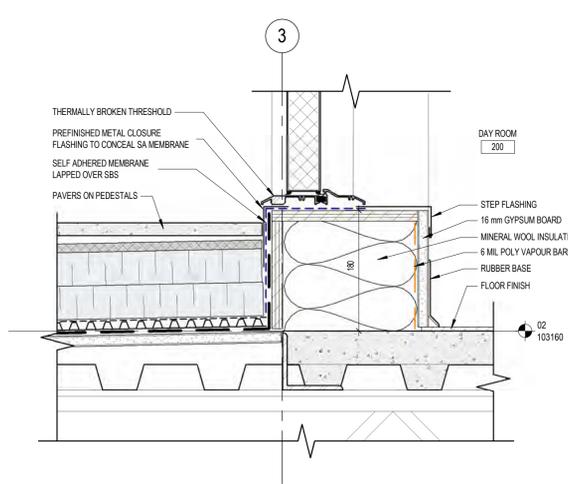
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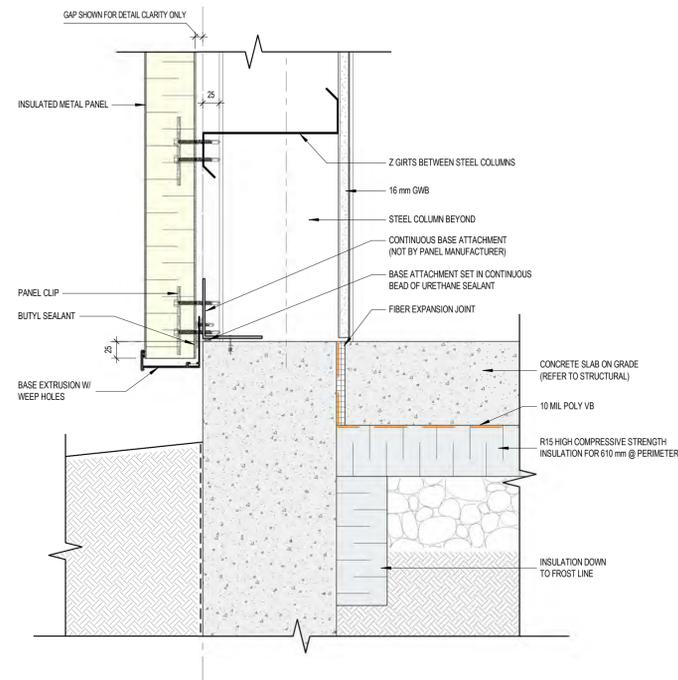
2 DECK AREA - PARAPET / GUARDRAIL
1:5



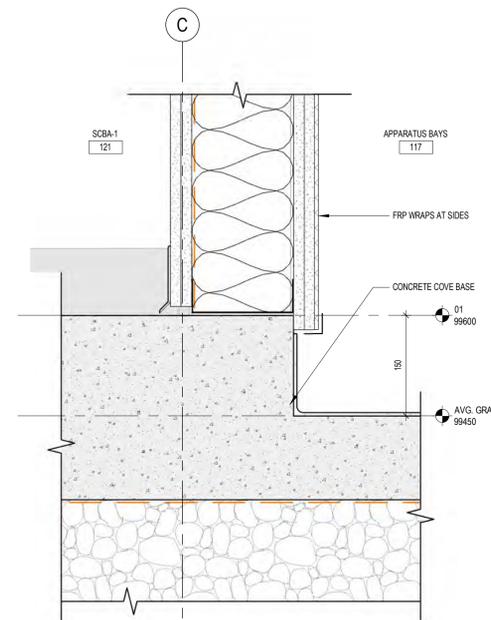
3 WALL DETAIL AT DECK
1:5



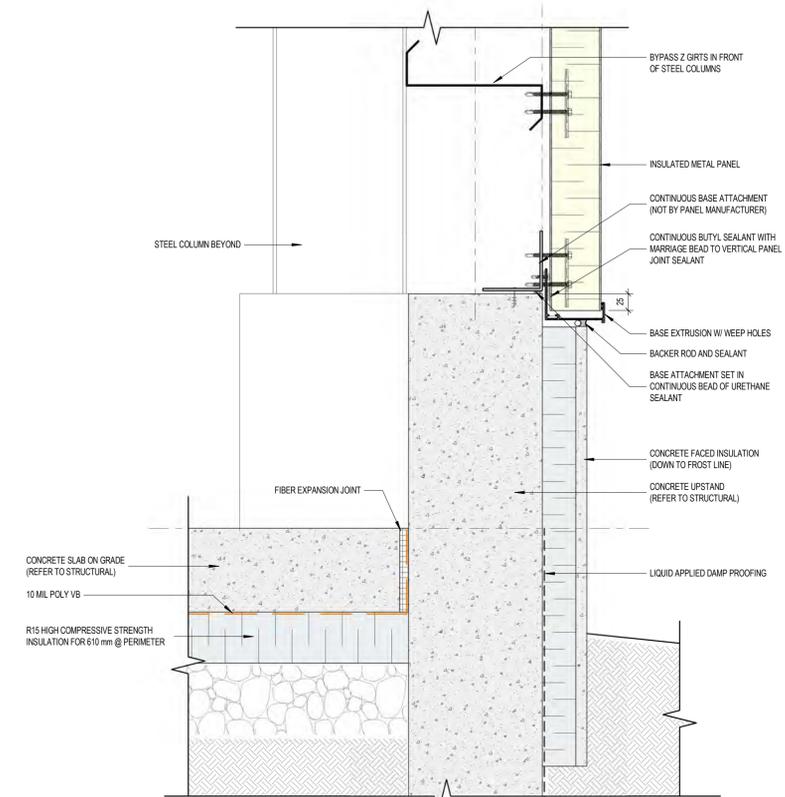
4 2ND FLOOR DOOR THRESHOLD
1:5



10 OFFICE BASE DETAIL
1:5



1 FOUNDATION DETAIL AT BLDG TRANSITION AT WALL
1:5



11 APPARATUS BAY BASE DETAIL
1:5

NO.	DATE	DESCRIPTION
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NO. DATE DESCRIPTION

SEAL

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PROJECT TITLE
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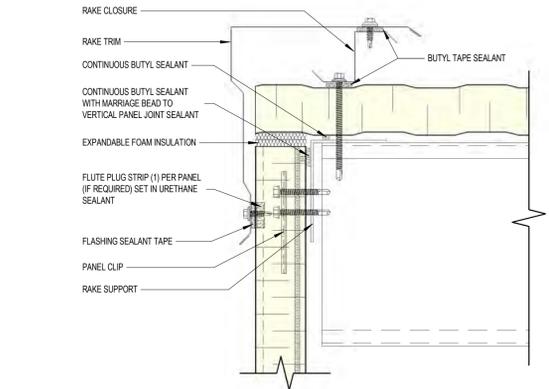
230 HOBBS ROAD
QUALICUM BEACH BC

SHEET TITLE

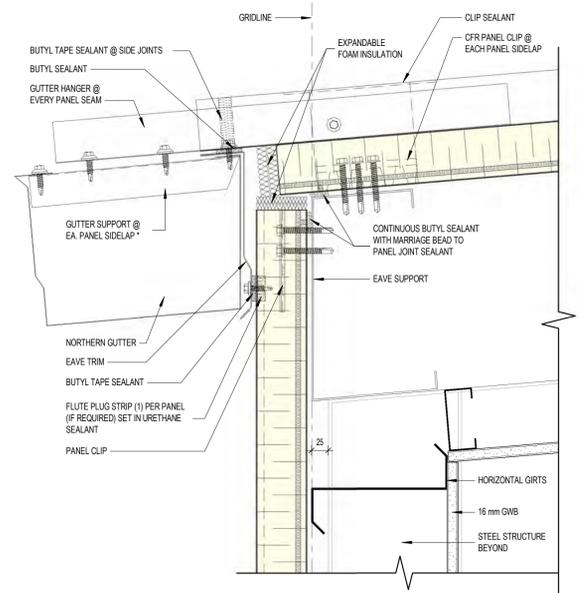
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DATE	2022-01-14	SHEET NO.
PROJECT NO.	20-007	A5.0
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DRAWN BY	KD	

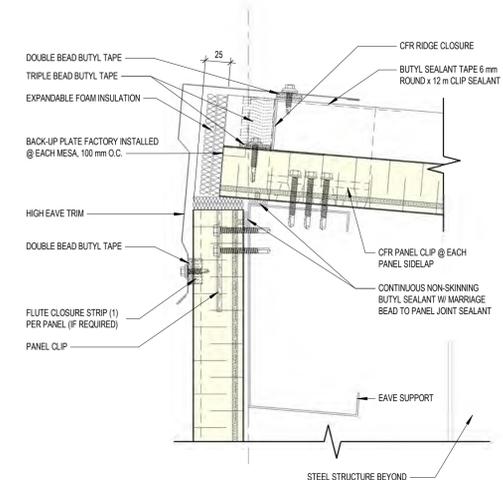
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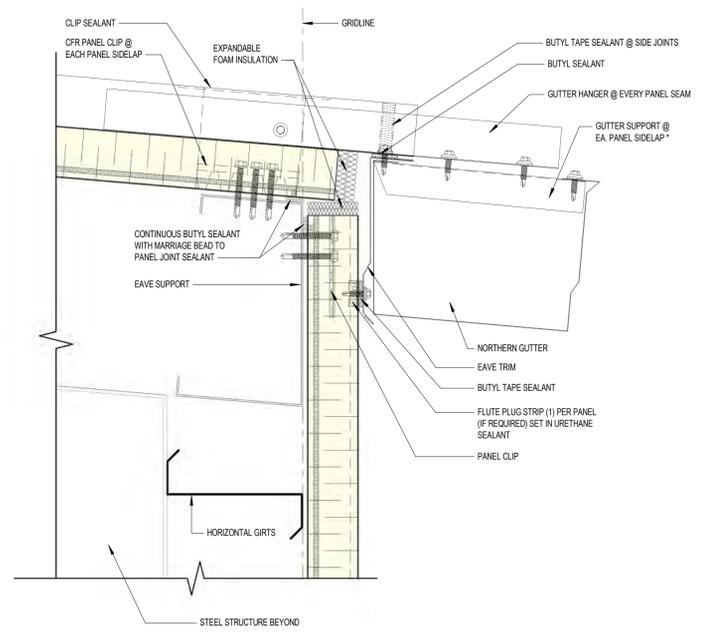
8 RAKE WITH HIGH PROFILE TRIM
1 : 5



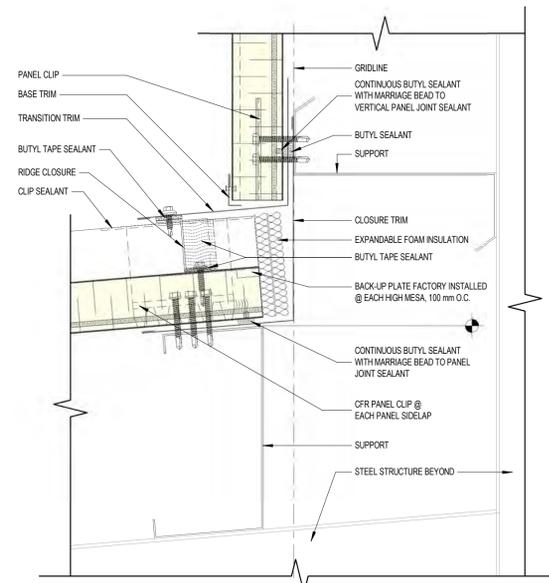
6 LOW EAVE WITH NORTHERN GUTTER (OFFICE SIDE)
1 : 5



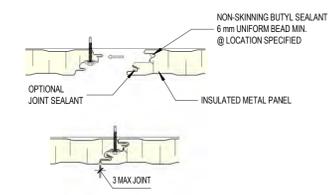
9 HIGH EAVE
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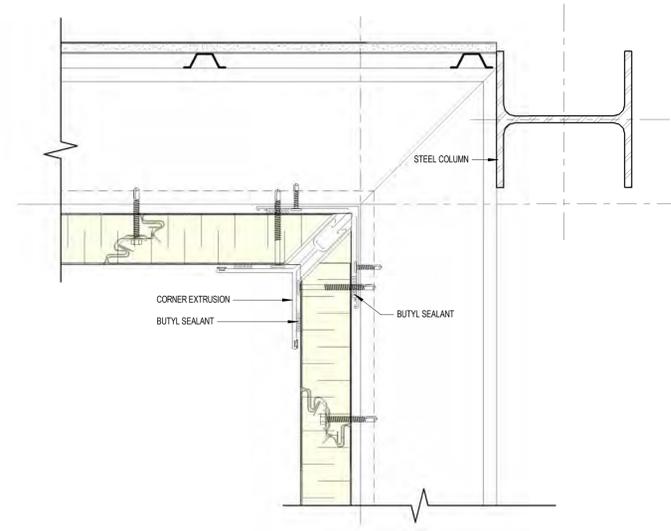
10 LOW EAVE WITH NORTHERN GUTTER (APPARATUS BAY)
1 : 5



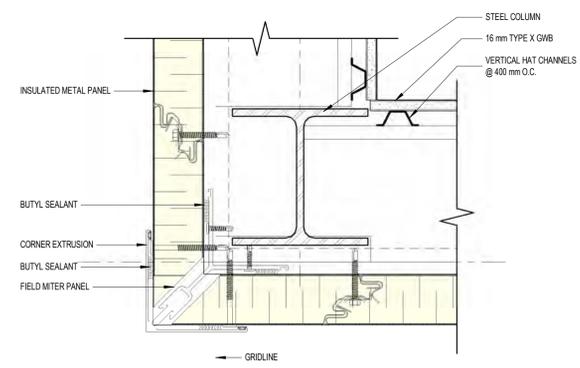
7 TRANSITION WALL TO HIGH EAVE
1 : 5



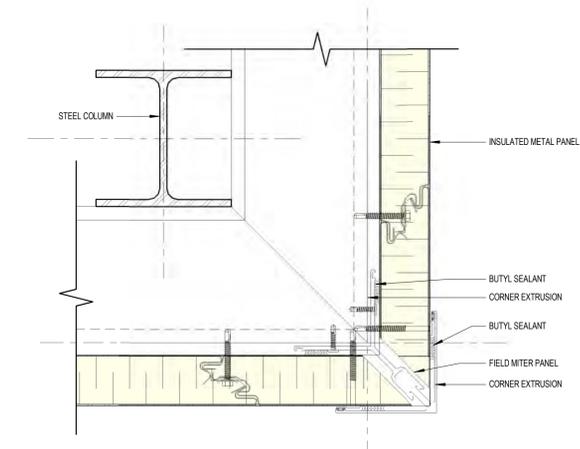
14 TYPICAL PANEL JOINTS PLAN DETAIL
1 : 10



13 APPARATUS BAY TO OFFICE TRANSITION
1 : 5



11 CORNER PLAN (OFFICE)
1 : 5



12 OUTSIDE CORNER (APPARATUS BAY)
1 : 5

NO.	DATE	DESCRIPTION
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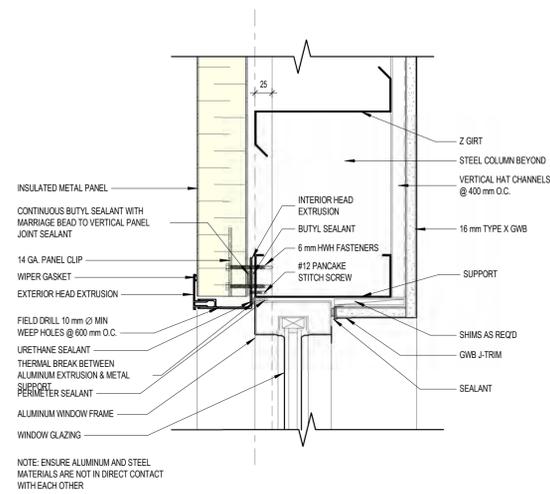
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230 HOBBS ROAD
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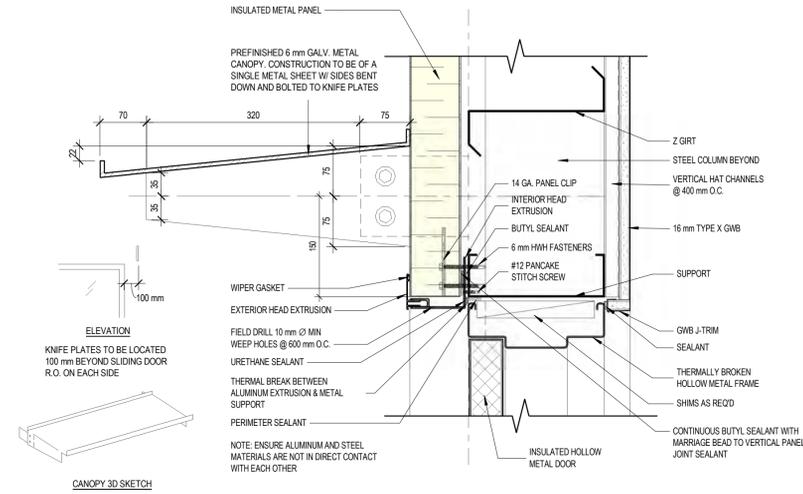
SHEET TITLE
DETAILS

DATE	PROJECT NO.	SHEET NO.
2022-01-14	20-007	A5.1
SCALE	As Indicated	
DRAWN BY	KD	

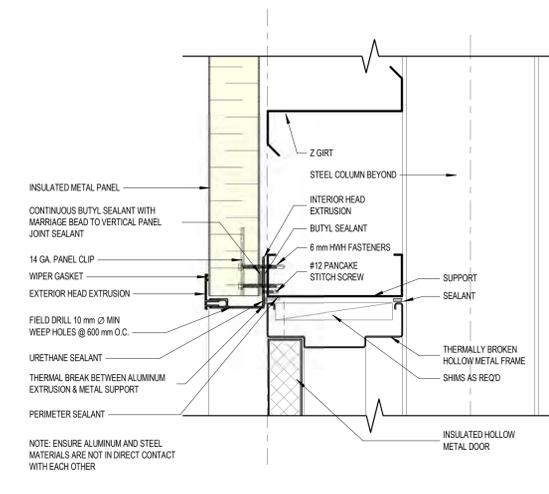
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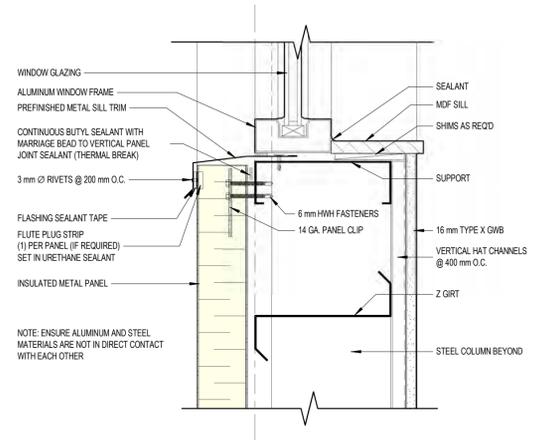
1 IMP WINDOW HEAD
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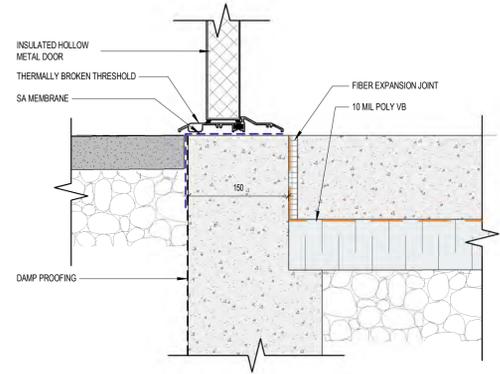
4 IMP DOOR HEAD W. CANOPY (OFFICE)
1:5



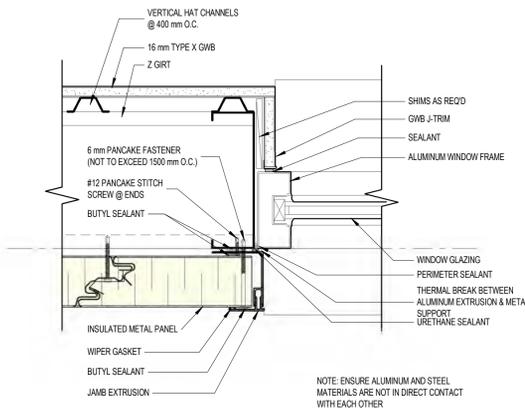
7 IMP DOOR HEAD (APPARATUS BAY)
1:5



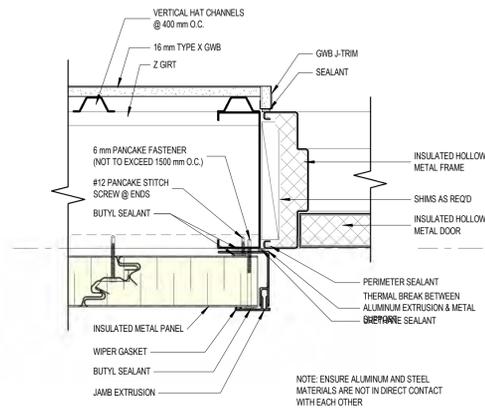
2 IMP WINDOW SILL
1:5



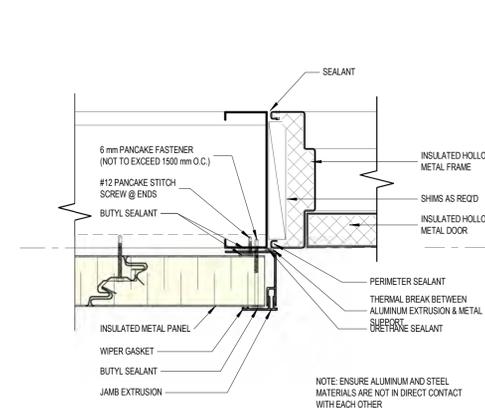
5 DOOR THRESHOLD
1:5



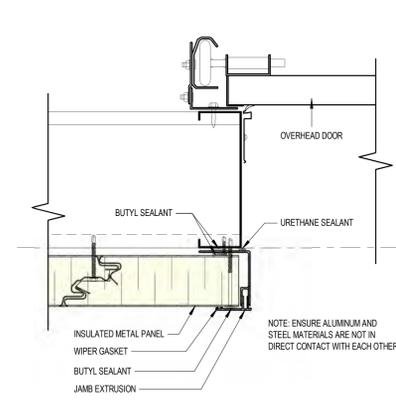
3 IMP WINDOW JAMB
1:5



6 IMP DOOR JAMB (OFFICE)
1:5



8 IMP DOOR JAMB (APPARATUS BAY)
1:5



9 OVERHEAD DOOR JAMB
1:5

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NO.	DATE	DESCRIPTION
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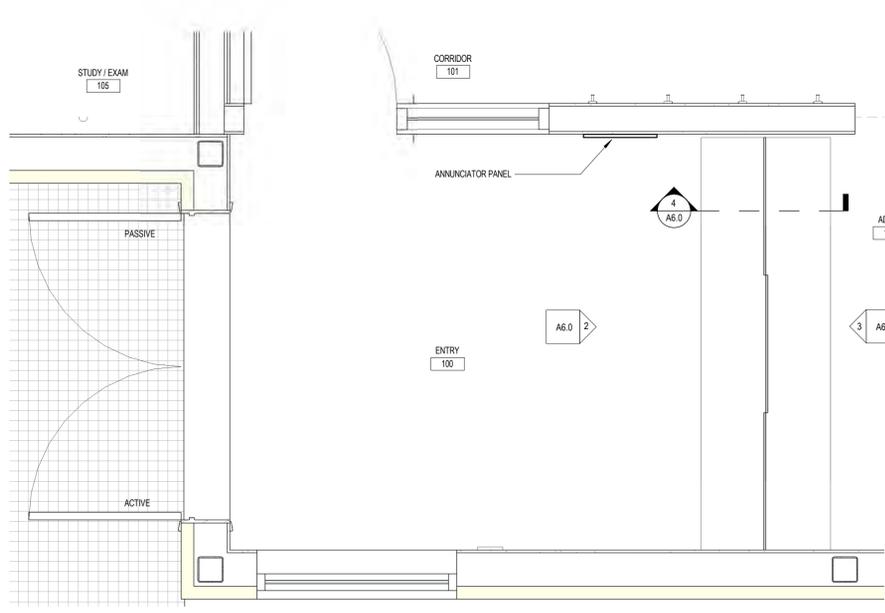
PROJECT TITLE
DASHWOOD FIRE HALL REPLACEMENT

230 HOBBS ROAD
QUALICUM BEACH BC

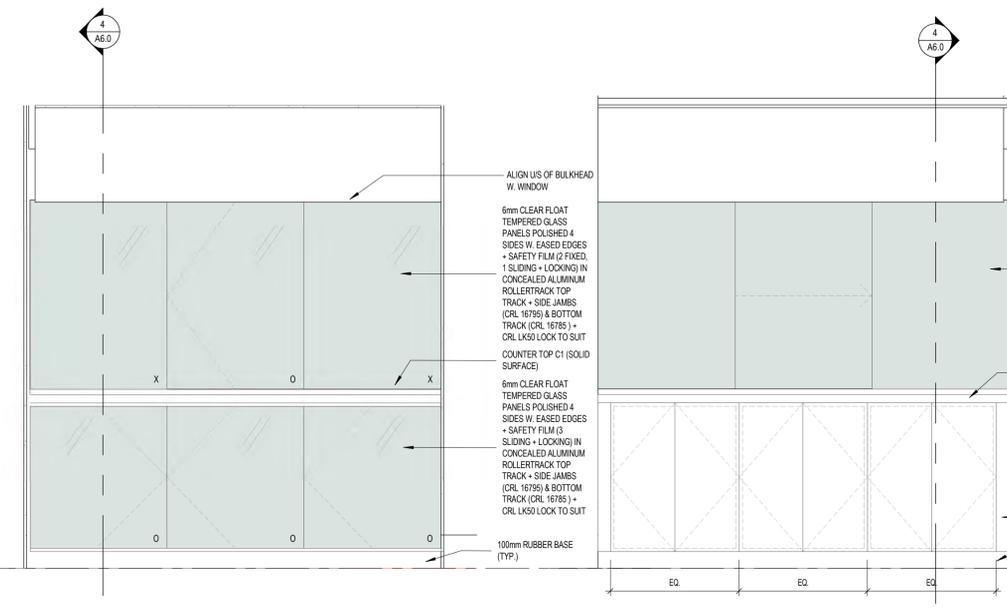
SHEET TITLE

WINDOW & DOOR DETAILS

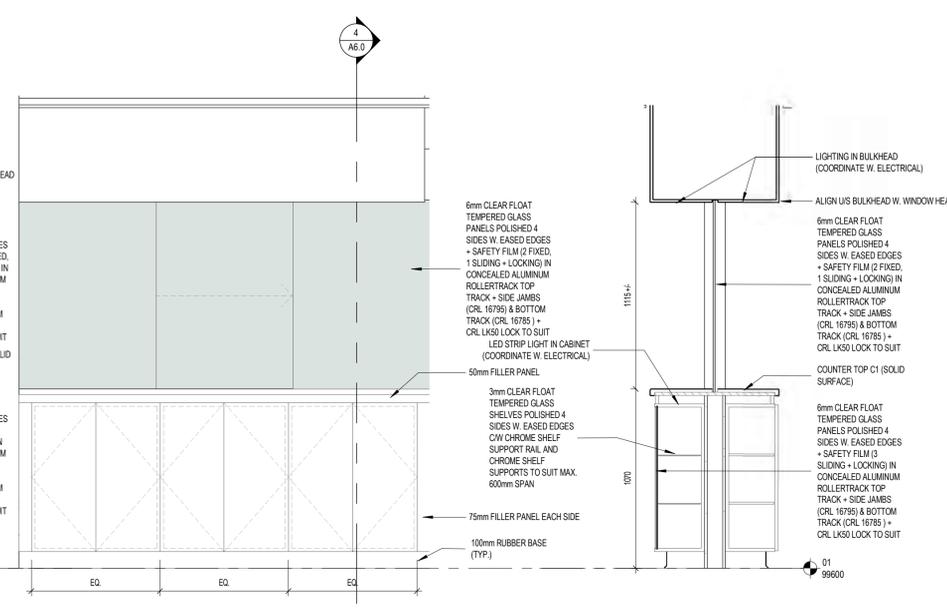
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PROJECT NO.	20-007	A5.2
SCALE	1:5	
DRAWN BY	KD	



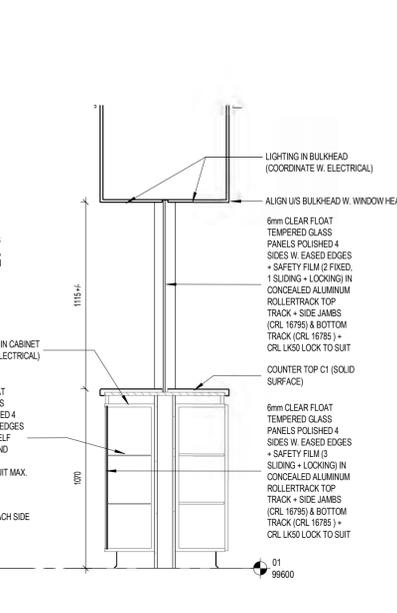
1 ENTRY RECEPTION DESK PLAN
1:20



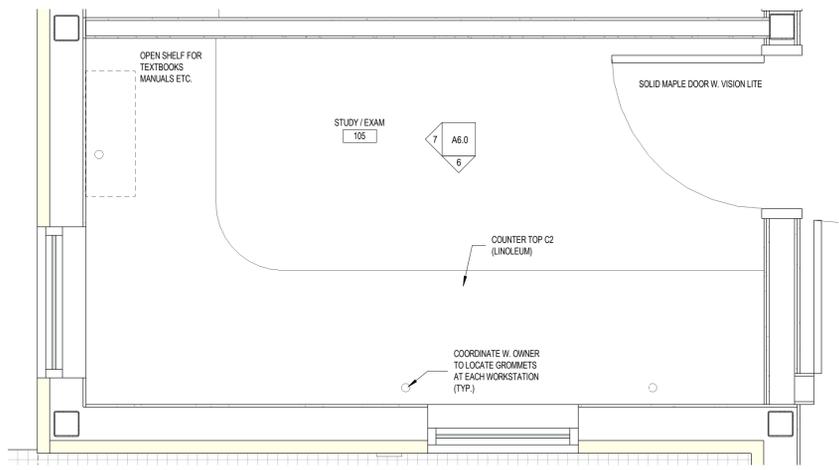
2 RECEPTION DESK - FRONT ELEV.
1:20



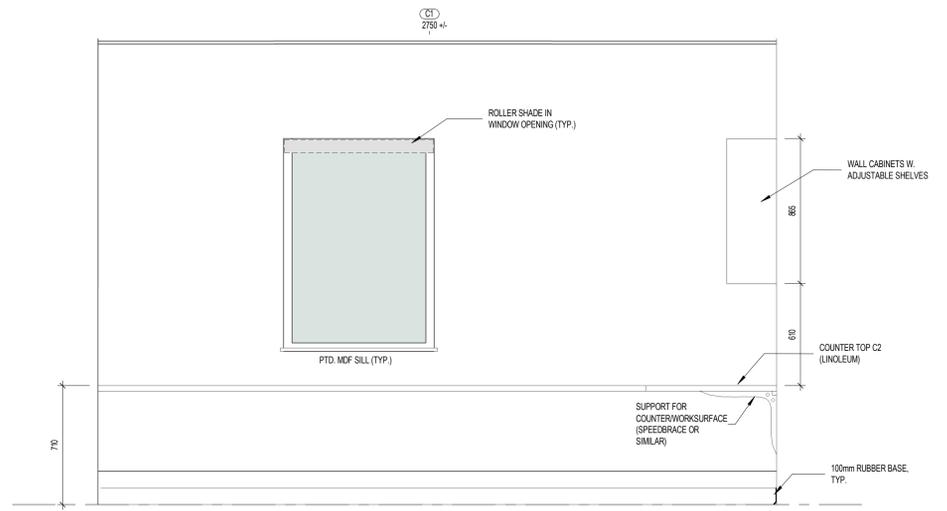
3 RECEPTION DESK - BACK ELEV.
1:20



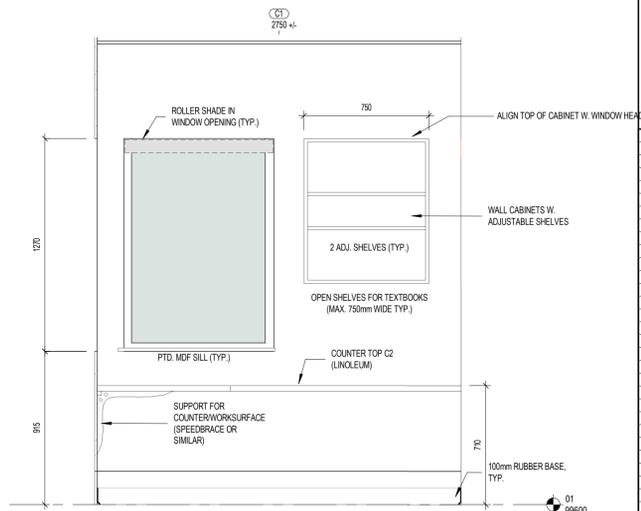
4 RECEPTION DESK
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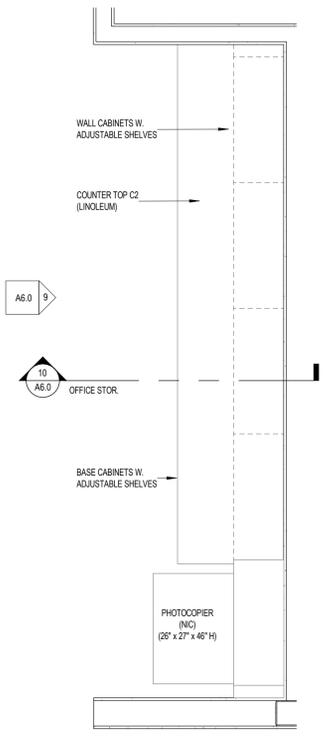
5 STUDY/EXAM PLAN
1:20



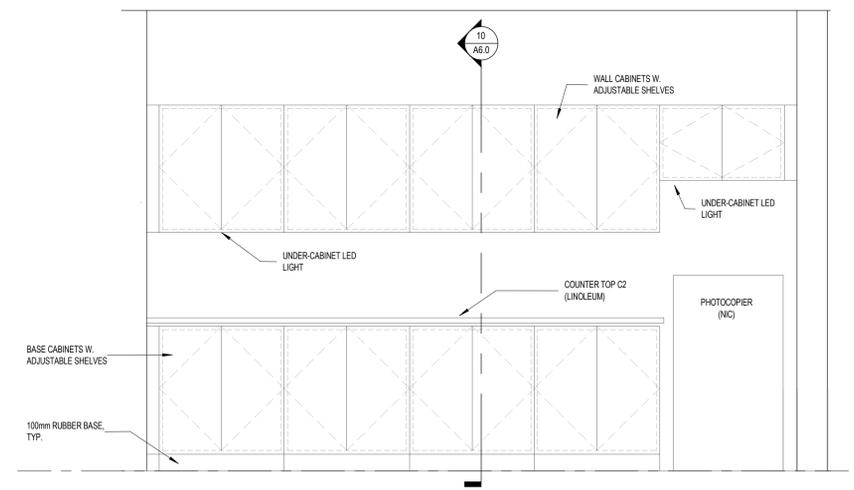
6 STUDY/EXAM ELEV 1
1:20



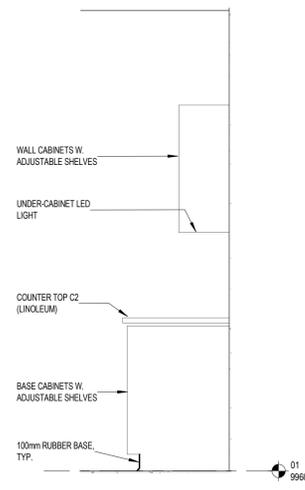
7 STUDY/EXAM ELEV 2
1:20



8 OFFICE STORAGE
1:20



9 OFFICE STORAGE ELEV.
1:20



10 OFFICE STORAGE SECTION
1:20

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MILLWORK NOTES

1. ALL DRAWERS AND CABINETS TO INCLUDE D-PULL AS SPECIFIED IN 06 41 00. BASE CABINET DOORS/FRONT PULL LOCATED AT TOP OF AND WALL CABINET DOORS TO HAVE PULL FROM BOTTOM.
2. CONTRACTOR TO COORDINATE W. ACTUAL FIXTURES AND APPLIANCES SUPPLIED ON SITE.
3. COUNTER TOPS:
 - C1 = SOLID SURFACE ON 2 LAYERS 19MM PLYWOOD
 - C2 = LINOLEUM ON 2 LAYERS 19MM PLYWOOD C/W BALANCING SHEET PER MANUFACTURER'S SPECIFICATION
 - C3 = STAINLESS STEEL ON 2 LAYERS 19MM PLYWOOD W. MARINE EDGE AND INTEGRAL SINK AS INDICATED

NO.	DATE	DESCRIPTION
5	2022-07-22	ISSUED FOR TENDER
4	2022-05-20	ISSUED FOR CLASS A COSTING

SEAL

STUDIO PA Heather Spinney, Architect, AIBC
Robert Rocheleau, Architect, AIBC
PRAXIS ARCHITECTS INC. 401 - 1245 Esquimalt Rd. Victoria, BC V8A 3P2
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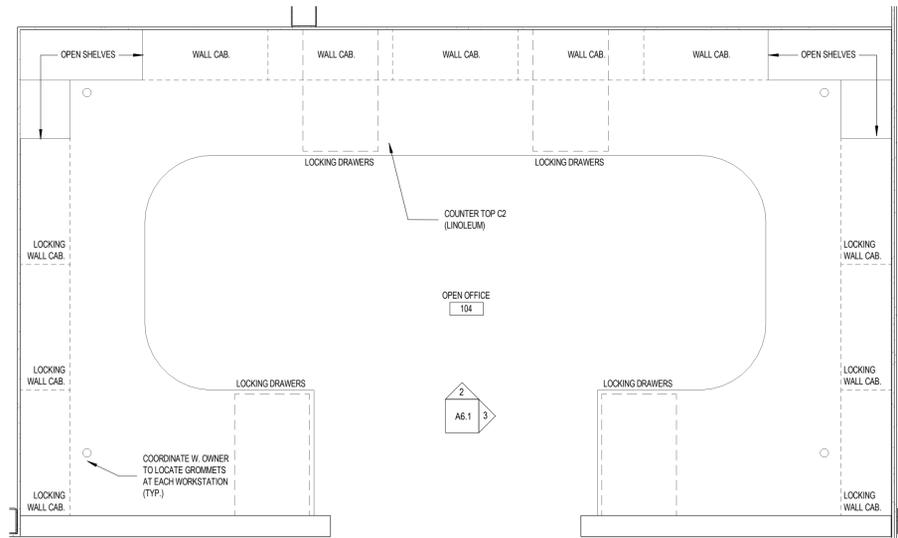
DASHWOOD FIRE HALL REPLACEMENT

230 HOBBS ROAD QUALICUM BEACH BC

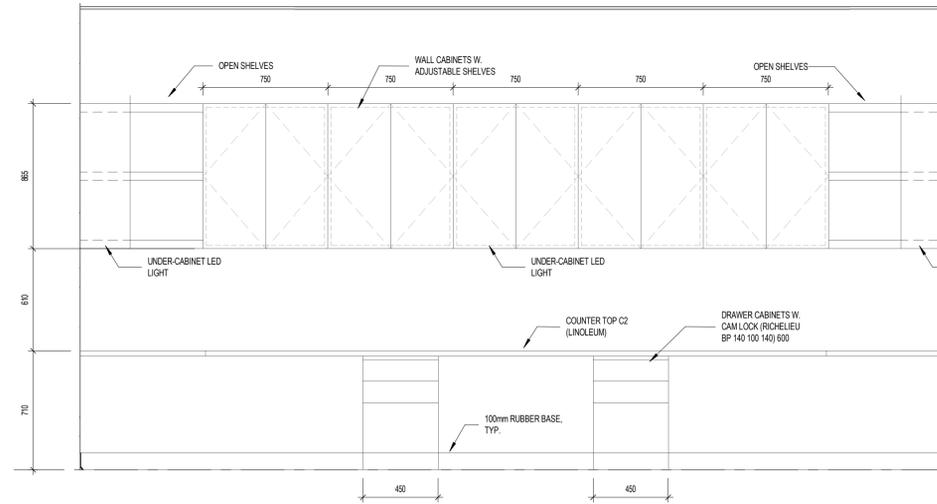
SHEET TITLE
MILLWORK - ENTRY AND OFFICE

DATE	2022-01-14	SHEET NO.
PROJECT NO.	20-007	A6.0
SCALE	As Indicated	
DRAWN BY	AW	

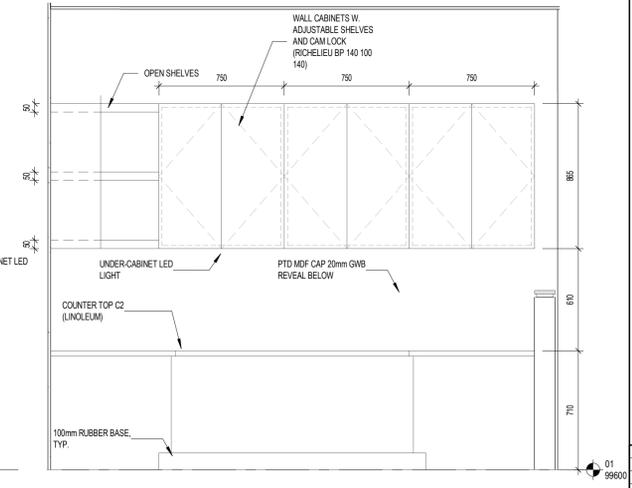
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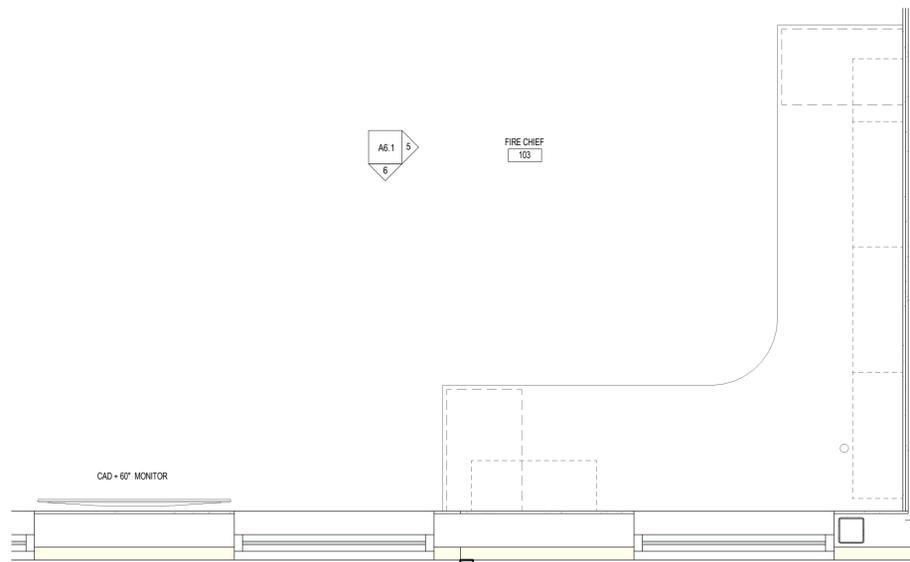
1 OPEN OFFICE PLAN
1:20



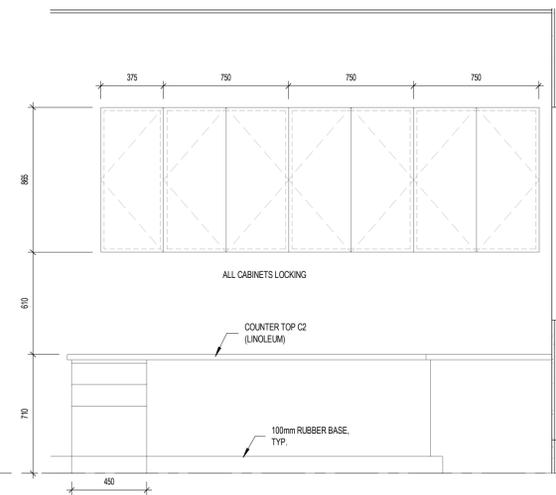
2 OPEN OFFICE ELEV 2
1:20



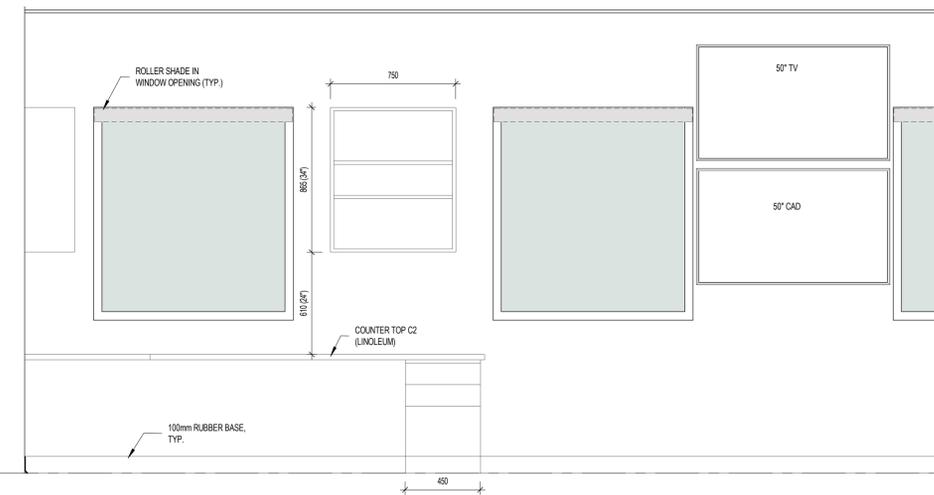
3 OPEN OFFICE ELEV 3
1:20



4 CHIEF OFFICE PLAN
1:20



5 CHIEF ELEV 1
1:20



6 CHIEF ELEV 2
1:20

NO.	DATE	DESCRIPTION
5	2022-07-22	ISSUED FOR TENDER
4	2022-05-20	ISSUED FOR CLASS A COSTING

SEAL

STUDIO PA
PRAXIS ARCHITECTS INC.

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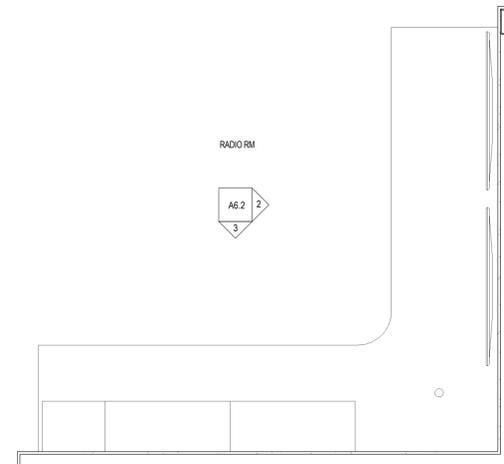
PROJECT TITLE
DASHWOOD FIRE HALL REPLACEMENT

230 HOBBS ROAD
QUALICUM BEACH BC

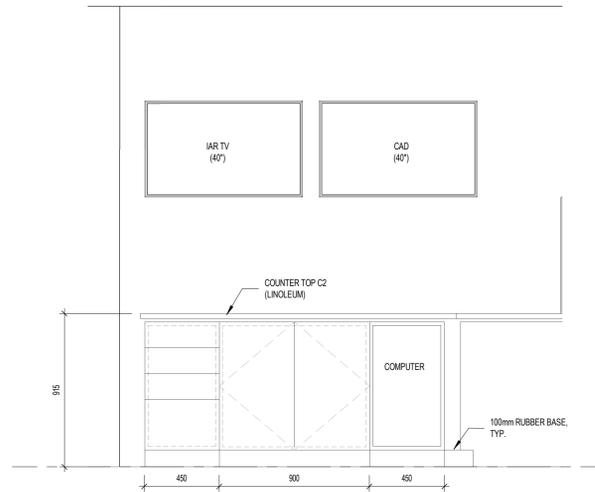
SHEET TITLE
MILLWORK - OFFICE

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PROJECT NO.	20-007	A6.1
SCALE	1:20	
DRAWN BY	Author	

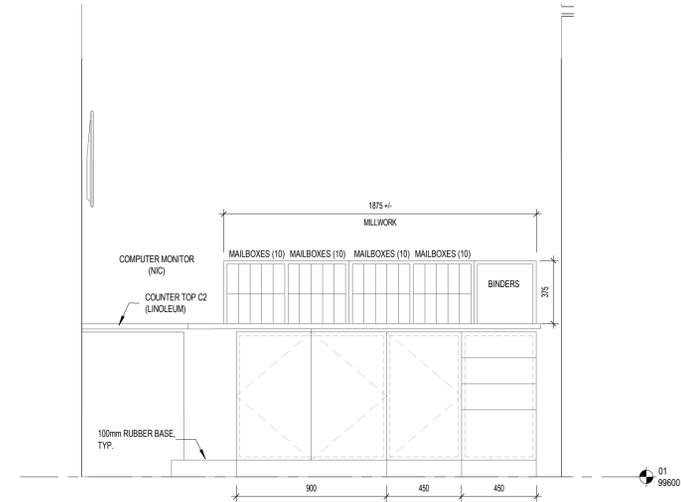
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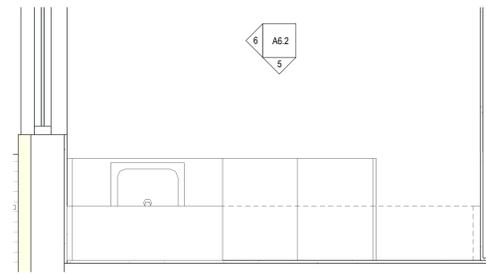
1 RADIO ROOM
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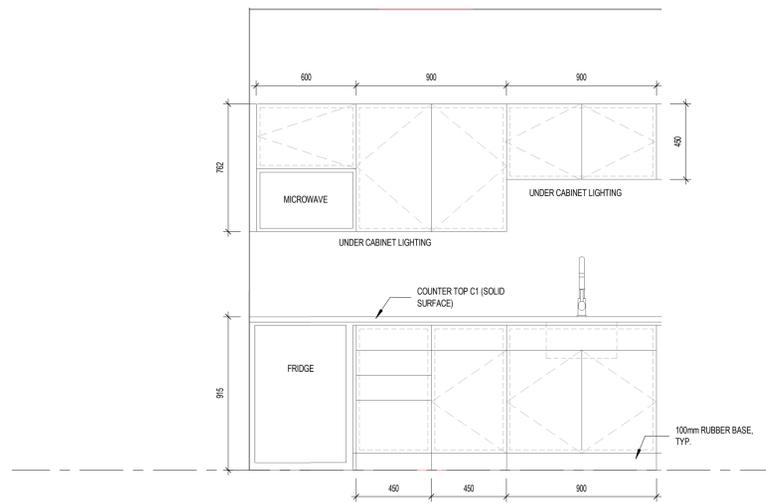
2 RADIO ROOM - ELEV. 2
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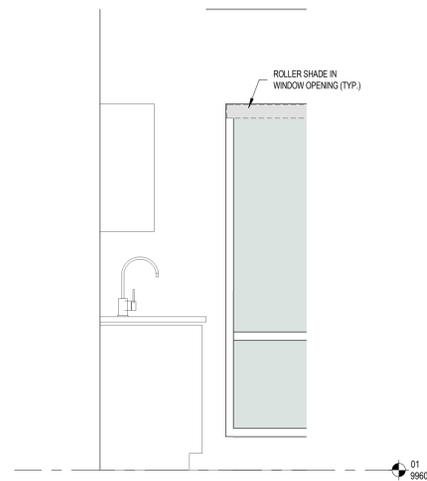
3 RADIO ROOM - ELEV. 1
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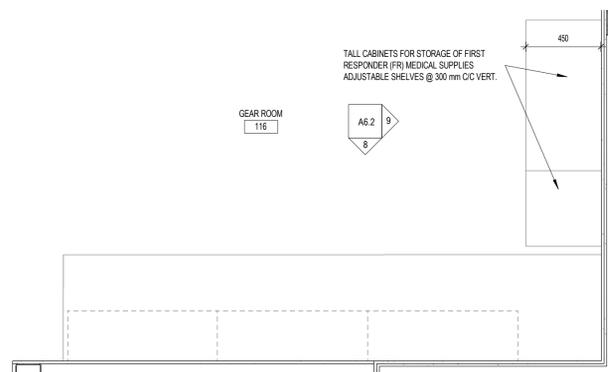
4 KITCHENETTE
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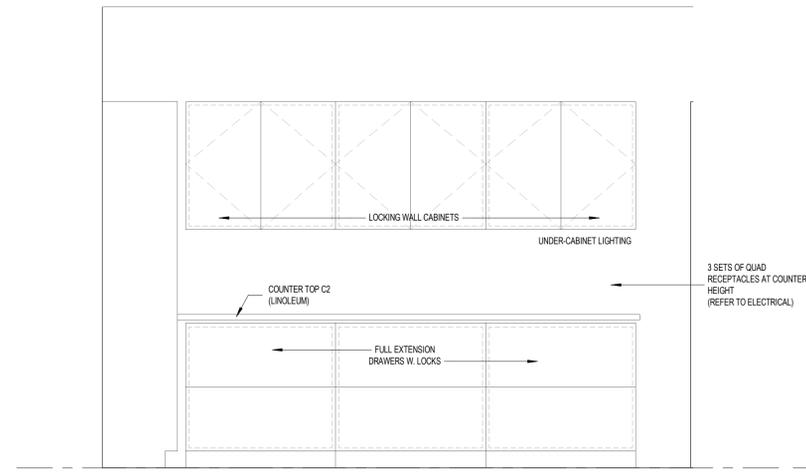
5 KITCHENETTE - FRONT ELEV.
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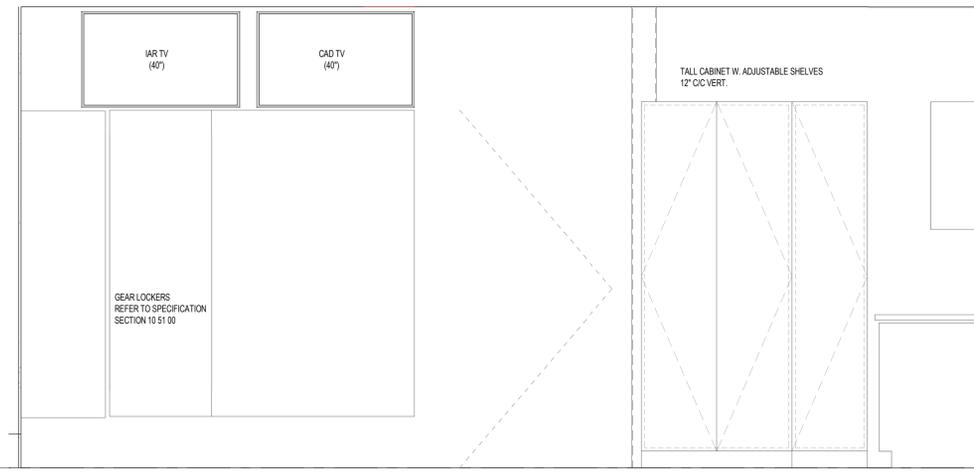
6 KITCHENETTE - SECTION
1 : 20



7 GEAR ROOM PLAN DETAIL
1 : 20



8 GEAR ROOM ELEV 1
1 : 20



9 GEAR ROOM ELEV 2
1 : 20

5	2022-07-22	ISSUED FOR TENDER
4	2022-05-20	ISSUED FOR CLASS A COSTING

NO.	DATE	DESCRIPTION
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SEAL



PROJECT TITLE
DASHWOOD FIRE HALL REPLACEMENT

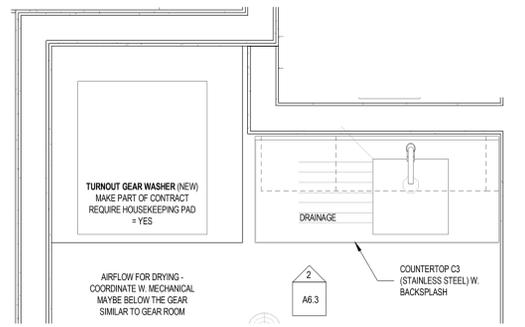
230 HOBBS ROAD
QUALICUM BEACH BC

SHEET TITLE

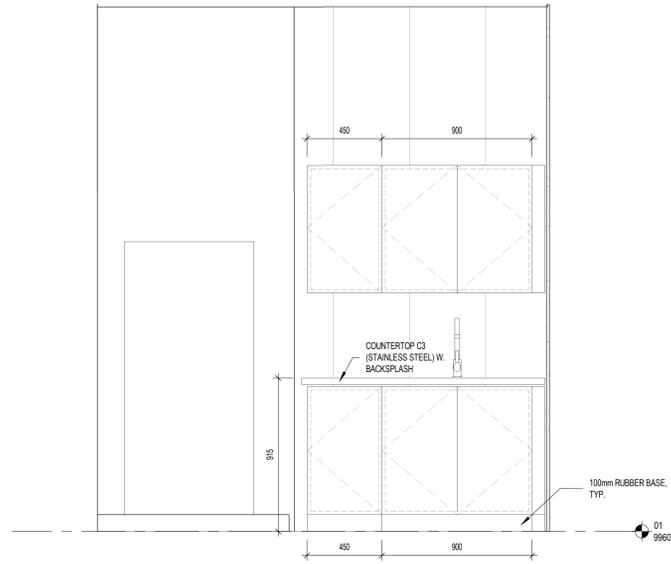
MILLWORK - SUPPORT AREAS

DATE	2022-01-14	SHEET NO.
PROJECT NO.	20-007	A6.2
SCALE	1 : 20	
DRAWN BY	LK	

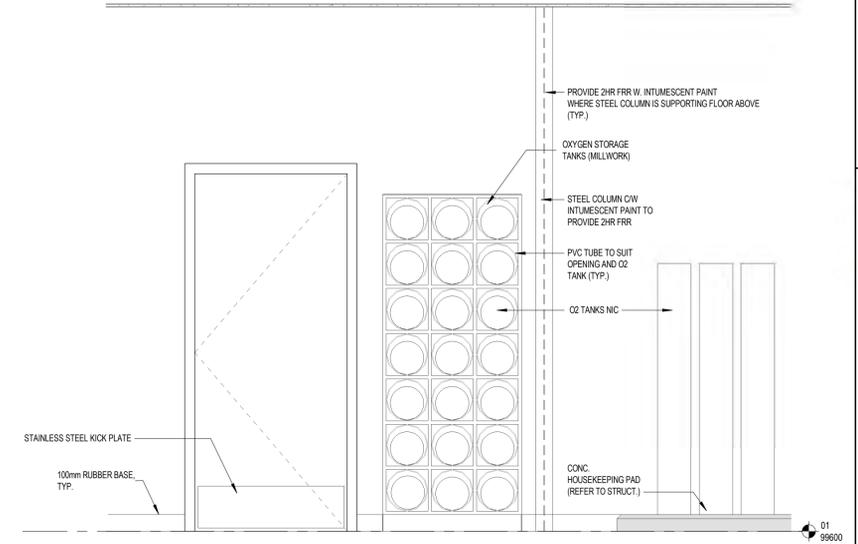
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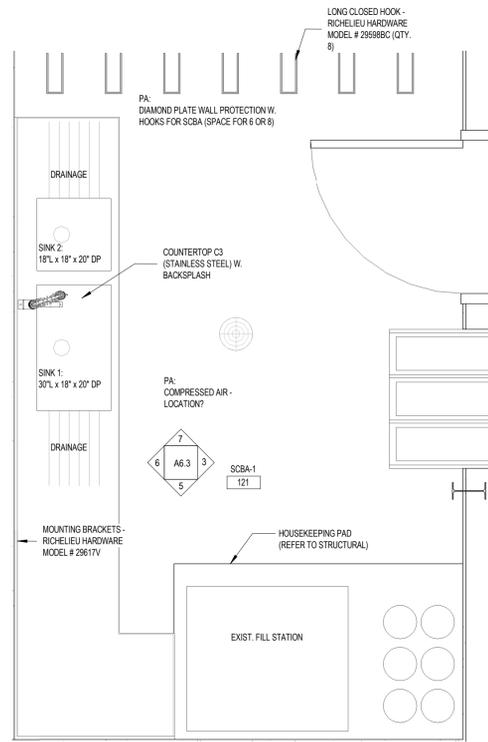
1 LAUNDRY PLAN
1:20



2 LAUNDRY ELEV 1
1:20



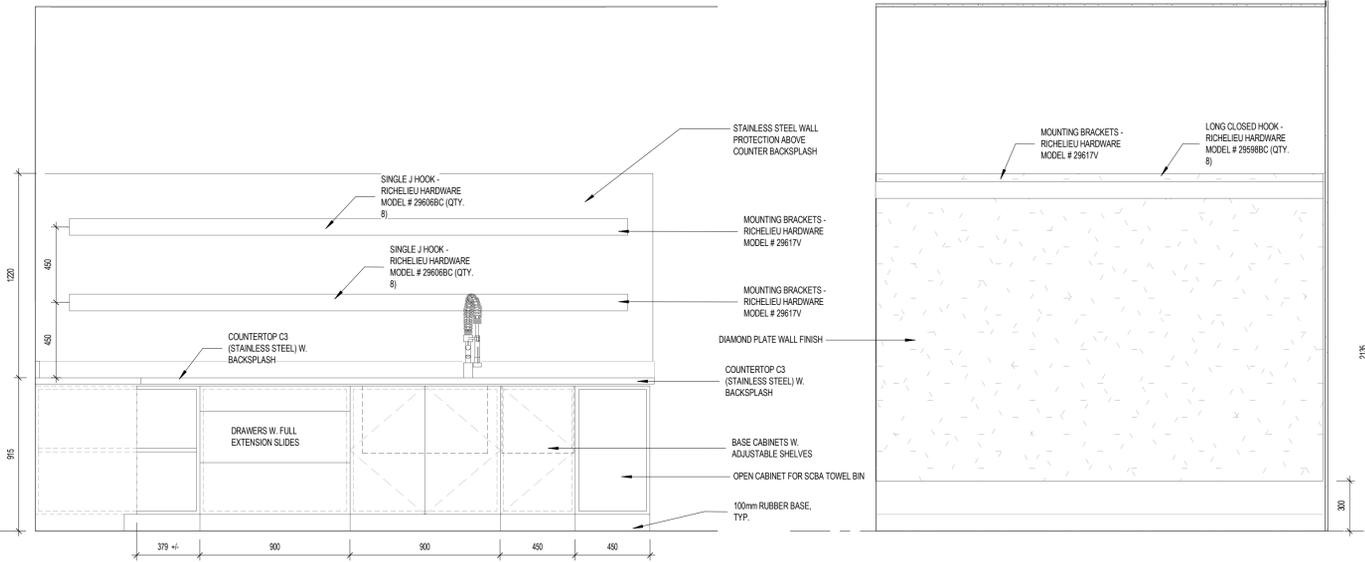
3 SCBA ELEV 3
1:20



4 SCBA-1 PLAN DETAIL
1:20

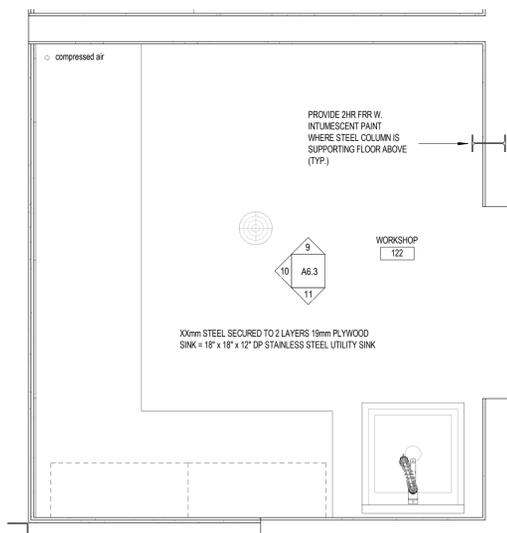


5 SCBA ELEV 2
1:20

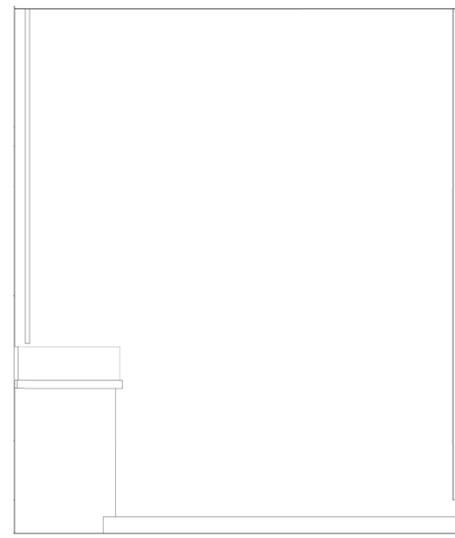


6 SCBA ELEV 1
1:20

7 SCBA ELEV 4
1:20



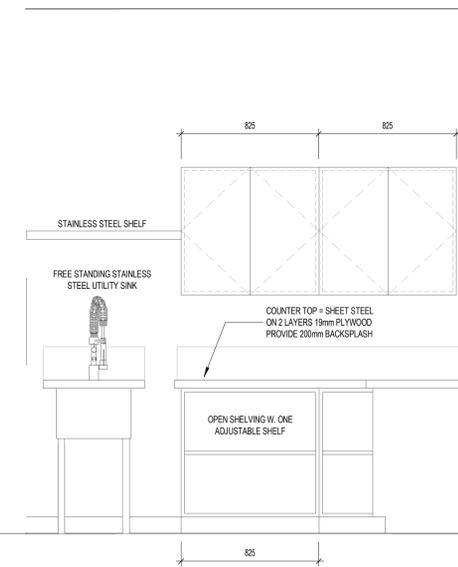
8 WORKSHOP PLAN DETAIL
1:20



9 WORKSHOP - ELEV. 1
1:20



10 WORKSHOP - ELEV. 2
1:20



11 WORKSHOP - ELEV. 3
1:20

NO.	DATE	DESCRIPTION
5	2022-07-22	ISSUED FOR TENDER
4	2022-05-20	ISSUED FOR CLASS A COSTING

SEAL 99600



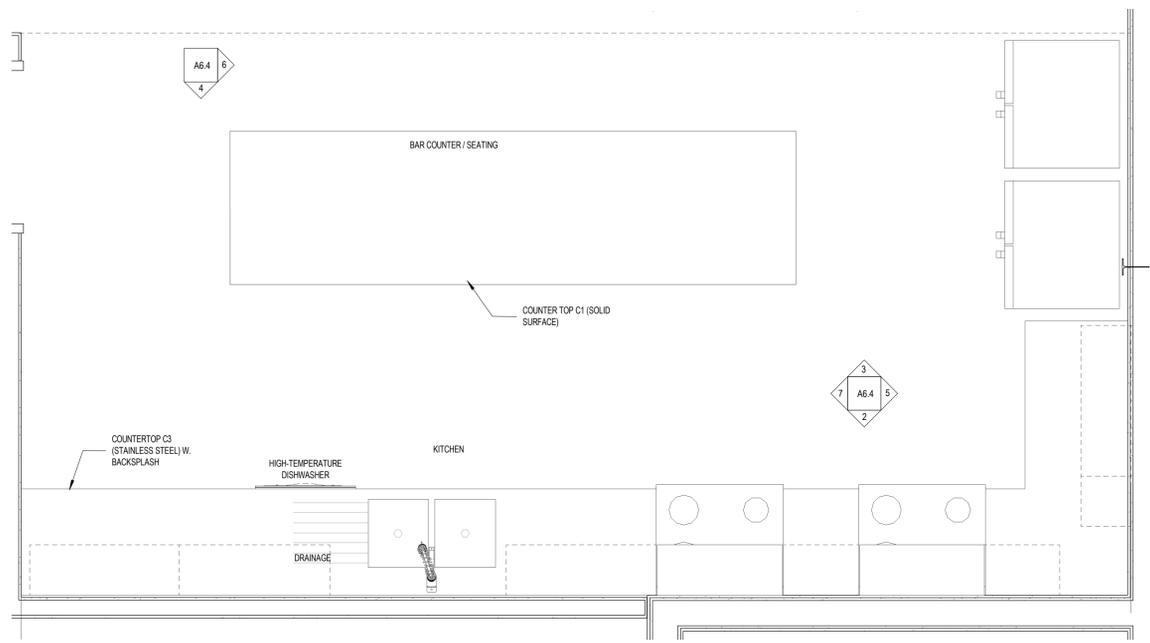
PROJECT TITLE
**DASHWOOD FIRE HALL
REPLACEMENT**

230 HOBBS ROAD
QUALICUM BEACH BC

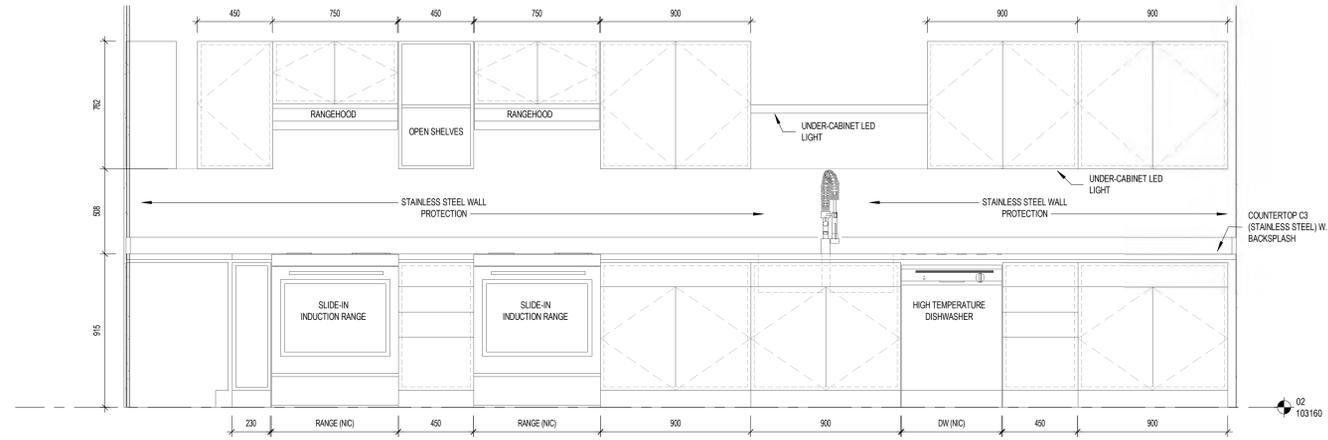
SHEET TITLE
**MILLWORK - APPARATUS BAYS
SUPPORT**

DATE	2022-01-14	SHEET NO.
PROJECT NO.	20-007	A6.3
SCALE	1:20	
DRAWN BY	Author	

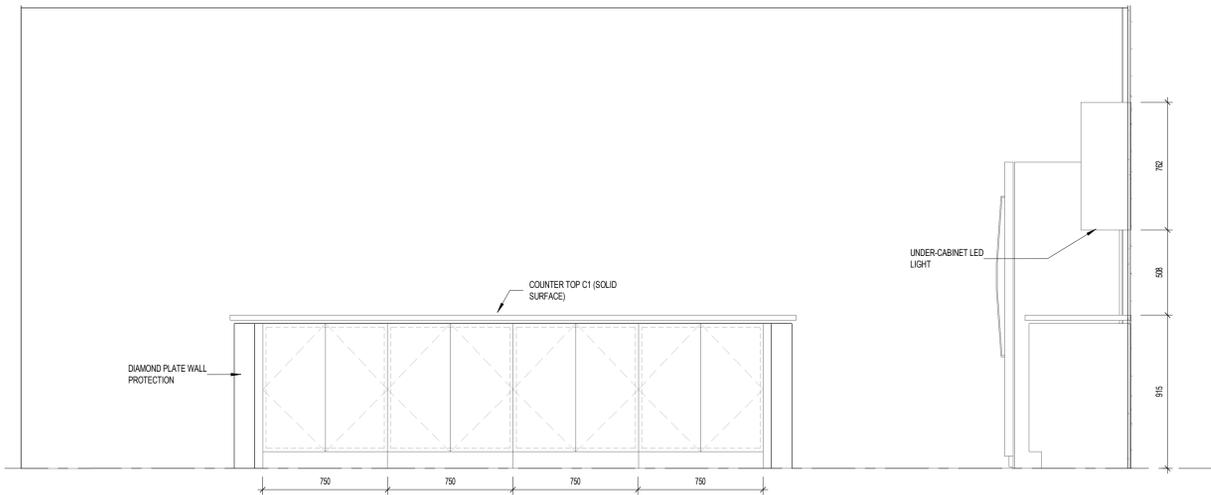
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1 KITCHEN PLAN
1 : 20



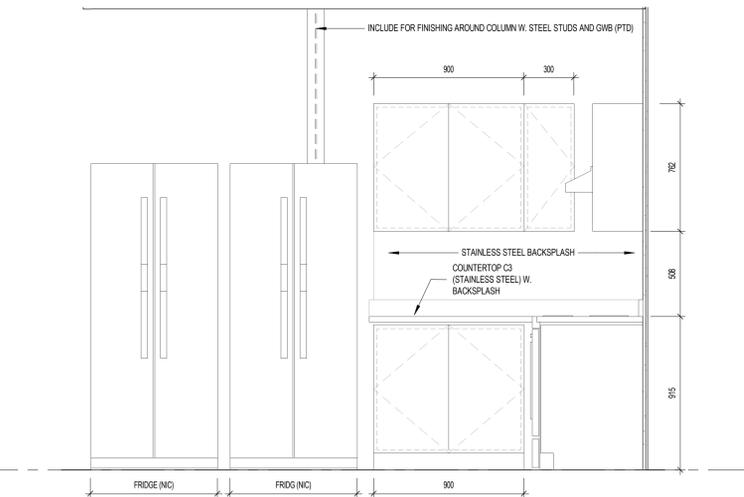
2 KITCHEN - EAST ELEVATION
1 : 20



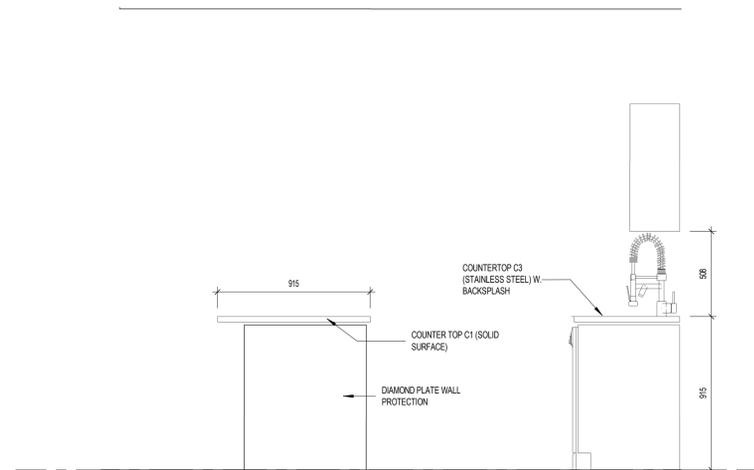
3 KITCHEN ISLAND - EAST ELEVATION
1 : 20



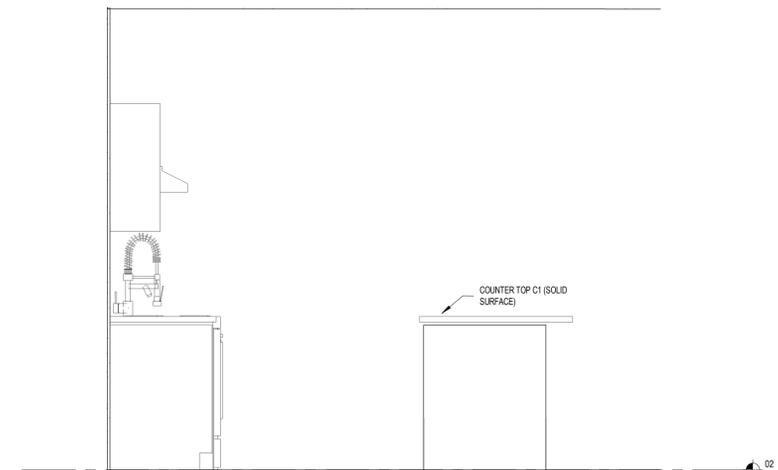
4 KITCHEN ISLAND - WEST ELEVATION
1 : 20



5 KITCHEN - NORTH ELEVATION
1 : 20



6 KITCHEN ISLAND - SOUTH ELEVATION
1 : 20



7 KITCHEN ISLAND - NORTH ELEVATION
1 : 20

NO.	DATE	DESCRIPTION
5	2022-07-22	ISSUED FOR TENDER
4	2022-05-20	ISSUED FOR CLASS A COSTING

SEAL

STUDIO PA Praxis Architects Inc.
 Heather Spinney, Architect, AIBC
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 401 - 1245 Esquimalt Rd. Victoria, BC V8A 3P2
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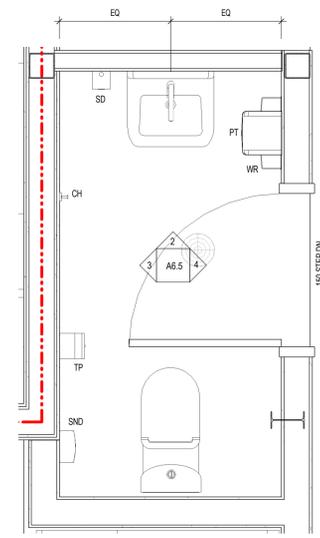
PROJECT TITLE
DASHWOOD FIRE HALL REPLACEMENT

230 HOBBS ROAD
 QUALICUM BEACH BC

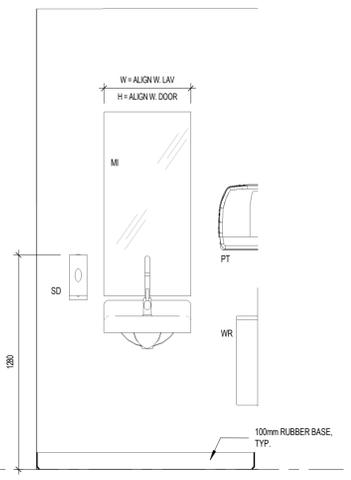
SHEET TITLE
MILLWORK - KITCHEN

DATE	2022-01-14	SHEET NO.
PROJECT NO.	20-007	A6.4
SCALE	1 : 20	
DRAWN BY	Author	

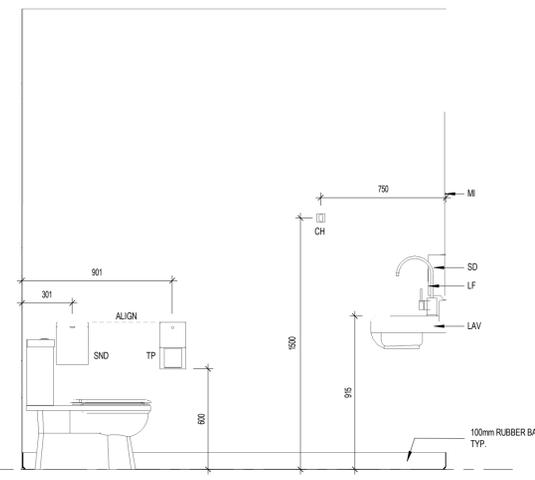
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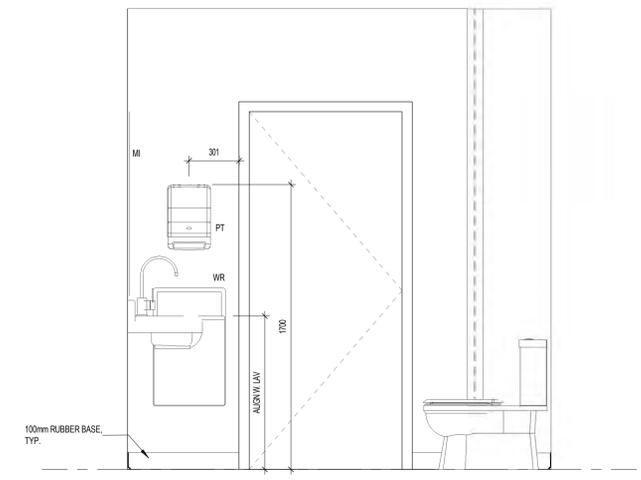
1 WC - APPARATUS BAY
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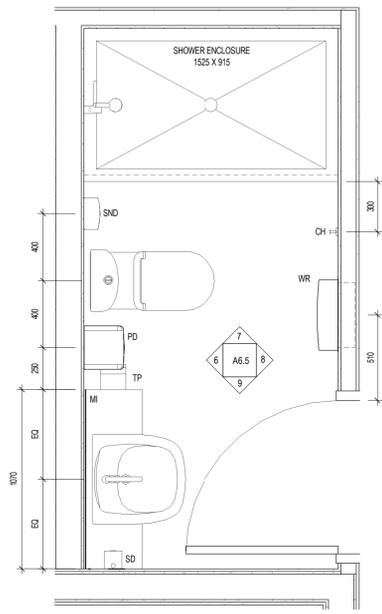
2 WC - APPARATUS BAY - ELEV 1
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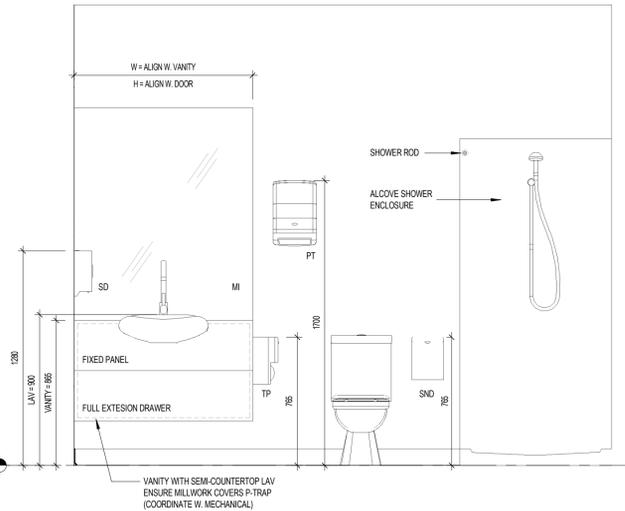
3 WC - APPARATUS BAY - ELEV 2
1 : 20



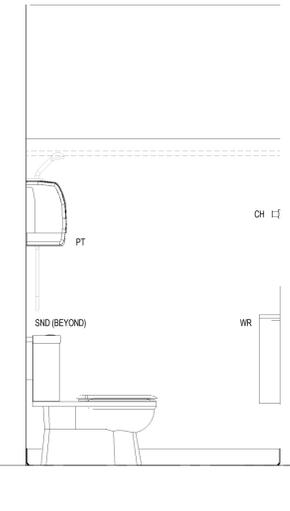
4 WC - APPARATUS BAY - ELEV 3
1 : 20



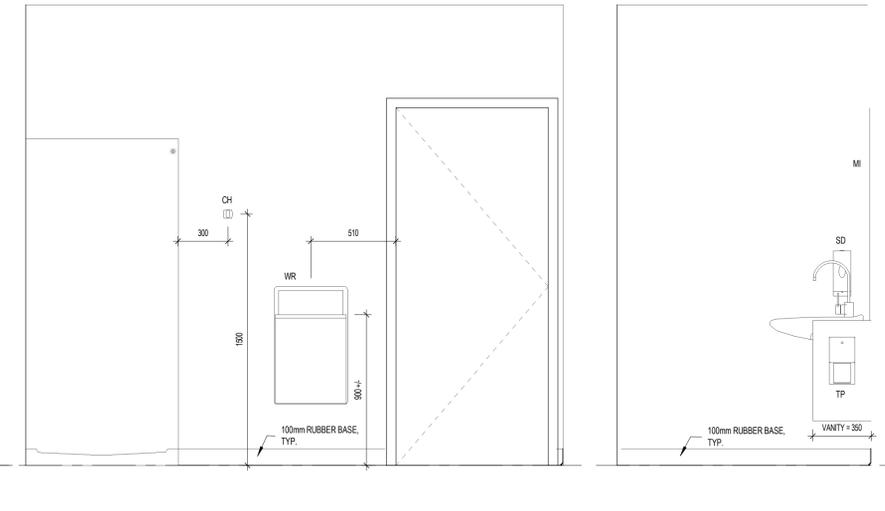
5 TYPICAL W.C. + SHOWER (L2)
1 : 20



6 WC + SHOWER (L2) - ELEV 1
1 : 20

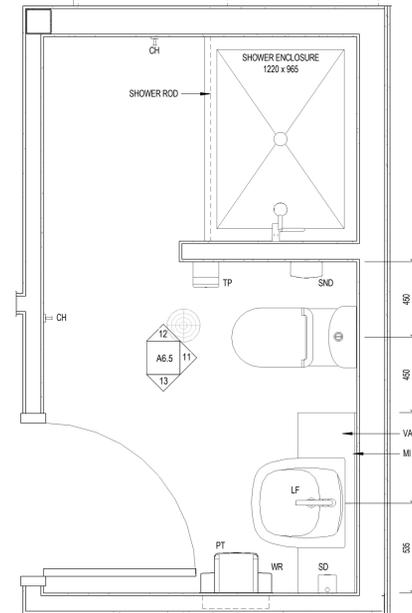


7 WC + SHOWER (L2) - ELEV 2
1 : 20

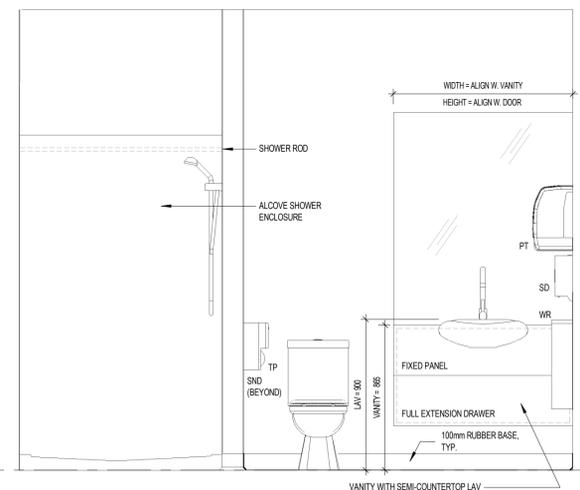


8 WC + SHOWER (L2) - ELEV 3
1 : 20

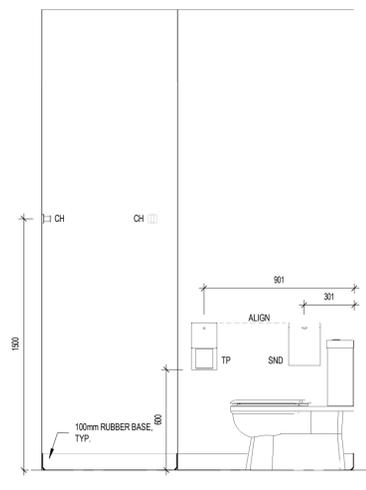
9 WC + SHOWER (L2) - ELEV 4
1 : 20



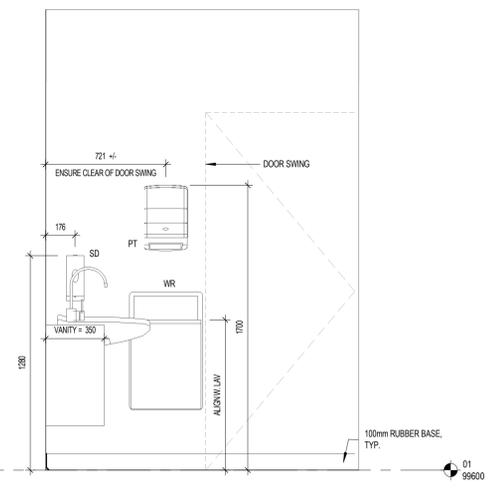
10 TYPICAL W.C. (L1)
1 : 20



11 WC + SHOWER (L1) - ELEV 1
1 : 20



12 WC + SHOWER (L1) - ELEV 2
1 : 20



13 WC + SHOWER (L1) - ELEV 3
1 : 20

5	2022-07-22	ISSUED FOR TENDER
4	2022-05-20	ISSUED FOR CLASS A COSTING

NO.	DATE	DESCRIPTION
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SEAL	
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250 475 2702 studio.pa.ca

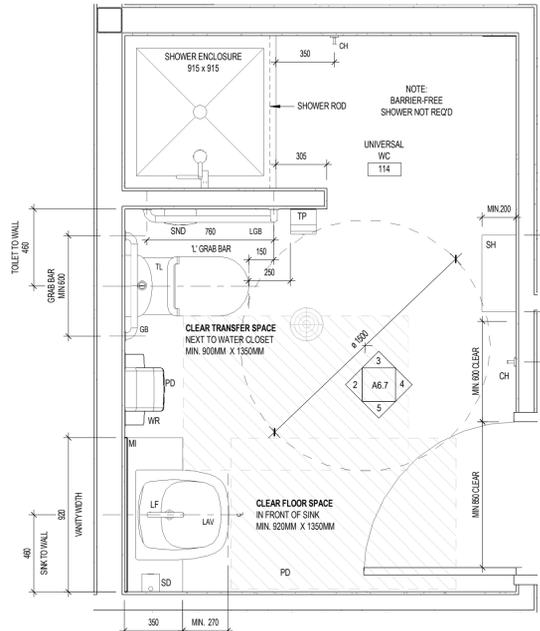
PROJECT TITLE
DASHWOOD FIRE HALL REPLACEMENT

230 HOBBS ROAD
QUALICUM BEACH BC

SHEET TITLE
MILLWORK - WASHROOMS

DATE	2022-01-14	SHEET NO.
PROJECT NO.	20-007	A6.5
SCALE	1 : 20	
DRAWN BY	HS	

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DOOR
-CONFORMS TO BCBC 2018 3.8.3.11(1)(c) + 3.8.3.8(1)(c)

DOOR LATCH
-LOCKABLE FROM INSIDE W/C AND EMERGENCY RELEASED FROM OUTSIDE
-CONFORMS TO BCBC 2018 3.8.3.8(1)(c)

GRAB BARS
-30-40MM DIAMETER
-35-40MM CLEARANCE FROM WALL
-TO CONFORM TO BCBC 2018 3.7.2.8

L-SHAPED GRAB BAR (LGB)
-760MM LENGTH & HEIGHT
-MOUNTED 750-850MM AFF
-TO CONFORM TO BCBC 2018 3.8.3.11(1)(e)

OVER-WC GRAB BAR (GB)
-800MM LENGTH
-MOUNTED ALIGNED TO L-SHAPED BAR OR 100MM ABOVE WATER TANK
-TO CONFORM TO BCBC 2018 3.8.3.11(1)(f) SEE FIGURE A-3.8.3.12-B

LAVATORY (LAV)
-TO CONFORM TO BCBC 2018 3.8.3.15.

LAV FAUCET (LF)
-EITHER AUTOMATIC OR HAS MANUAL CONTROL THAT COMPLIES WITH BCBC 2018 3.7.2. (4)(b)

WALL-MOUNTED MIRROR (MI)
-TO CONFORM TO BCBC 2018 3.8.3.15(2)

TOILET PAPER DISPENSER (TP)
-MOUNTED 800-800 AFF (OR BELOW GRAB BAR)

SOAP DISPENSER (SD)
-EITHER AUTOMATIC OR COMPLIES WITH 3.8.3.8. (1)(c)
-MOUNTED MAX 1100MM AFF

PAPER TOWEL DISPENSER (PD)
-TO CONFORM TO BCBC 2018 3.8.3.15(1)(g)

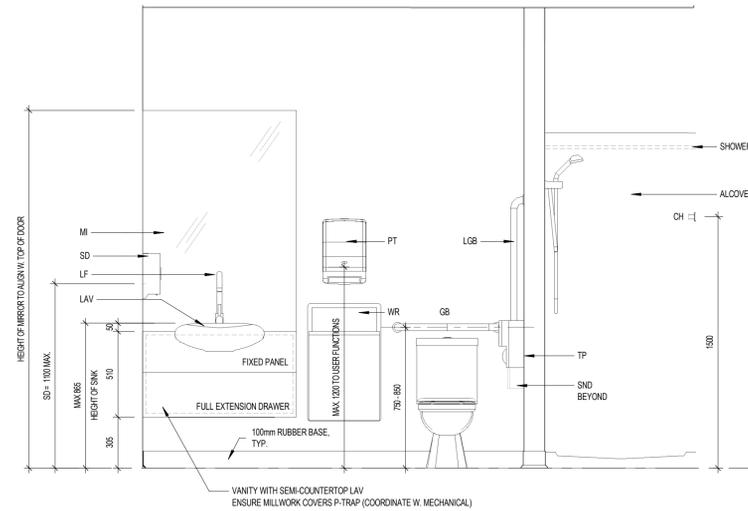
WASTE RECEPTACLE (WR)
-INSTALL BELOW PD

SANITARY NAPKIN DISPOSAL (SND)
-INSTALL BELOW PD

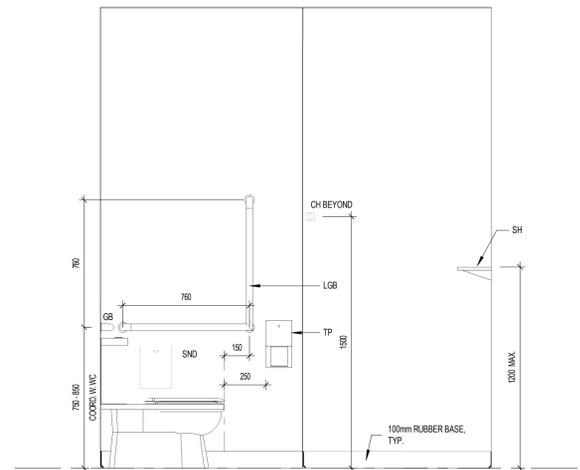
COAT HOOK (CH)
-MAX PROJECTION 50MM
-MOUNTED MAX 1200MM AFF

SHELF (SH)
-SIZE MIN 200X400MM
-MOUNTED MAX 1200MM AFF

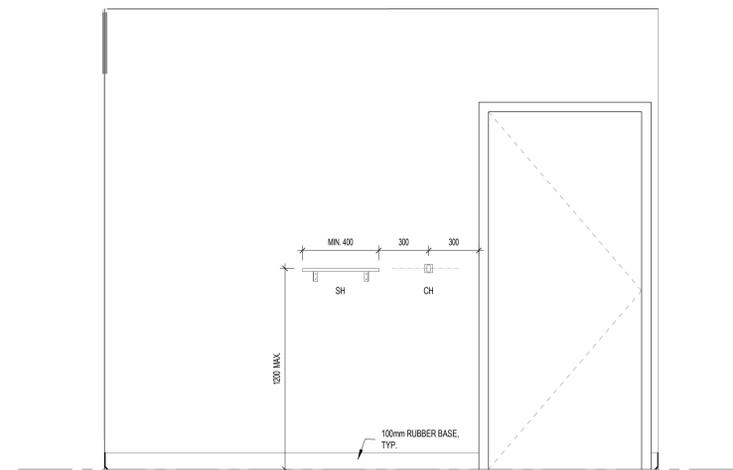
1 UNIVERSAL W.C. + STND SHOWER (L1)
1 : 20



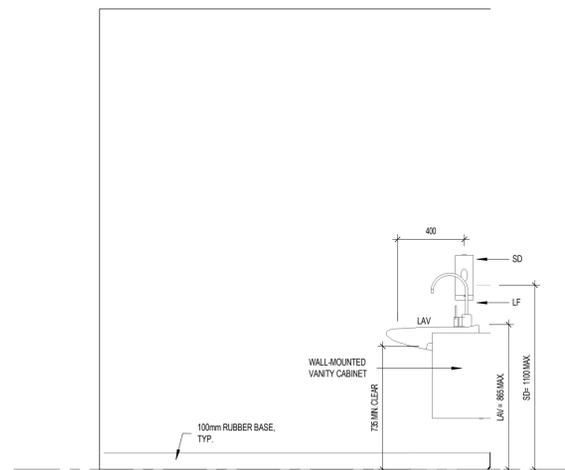
2 UNIVERSAL WC + SHOWER - ELEV 1
1 : 20



3 UNIVERSAL WC + SHOWER - ELEV 2
1 : 20



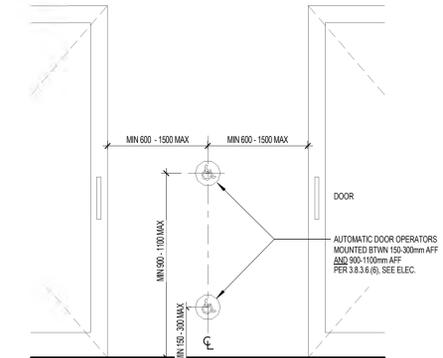
4 UNIVERSAL WC + SHOWER - ELEV 3
1 : 20



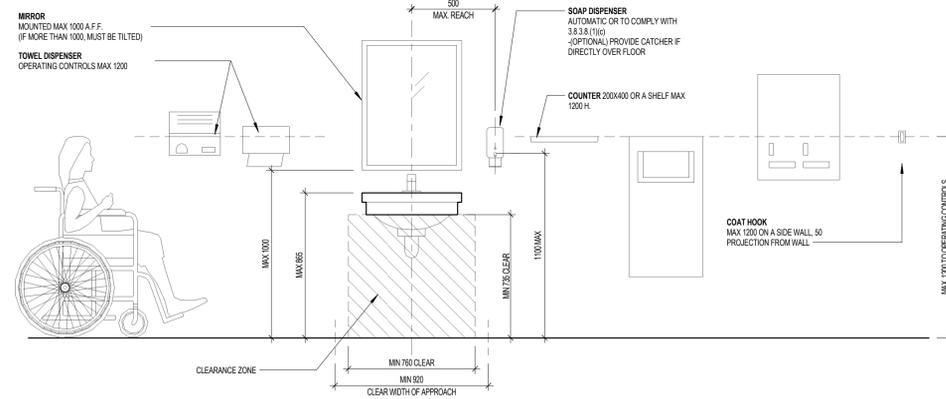
5 UNIVERSAL WC + SHOWER - ELEV 4
1 : 20



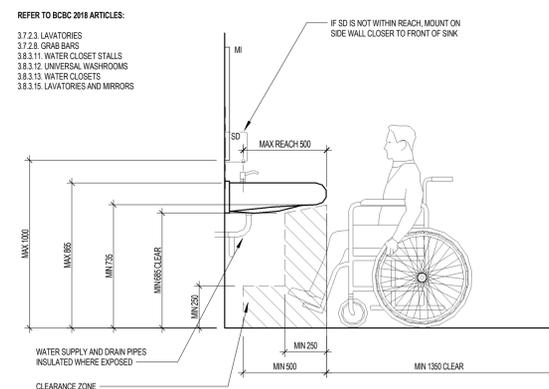
ACCESSIBLE IDENTIFICATION SIGN



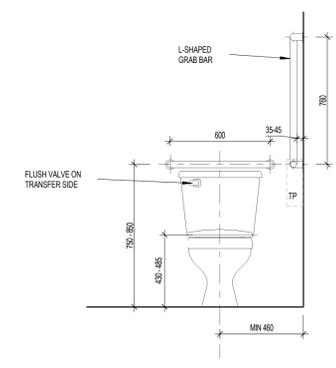
6 ADO REQUIREMENTS
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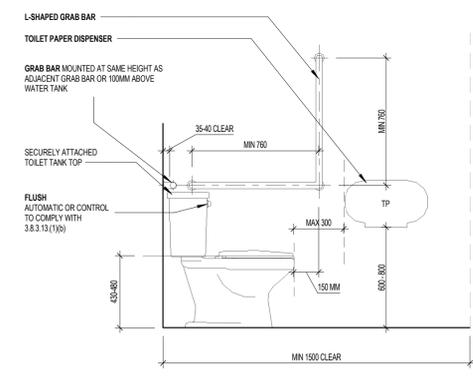
7 ACCESSIBLE WC SINK FRONT VIEW
1 : 20



8 ACCESSIBLE WC SINK SIDE VIEW
1 : 20



9 ACCESSIBLE WC TOILET FRONT VIEW
1 : 20



10 ACCESSIBLE WC TOILET SIDE VIEW
1 : 20

NO.	DATE	DESCRIPTION
5	2022-07-22	ISSUED FOR TENDER
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PROJECT TITLE
DASHWOOD FIRE HALL REPLACEMENT
230 HOBBS ROAD
QUALICUM BEACH BC

SHEET TITLE
MILLWORK - BARRIER FREE WC + ACCESSIBLE DESIGN

DATE	2022-01-14	SHEET NO.
PROJECT NO.	20-007	A6.7
SCALE	1 : 20	
DRAWN BY	Author	