

# DASHWOOD FIRE HALL REPLACEMENT

## GENERAL NOTES

1. THE CONTRACTOR SHALL ENSURE THAT ALL CONSTRUCTION FOLLOWS THESE DOCUMENTS. ALL REVISIONS SHALL BE APPROVED IN ENTIRETY BY THE ARCHITECT.
2. ALL WORK SHALL COMPLY WITH ALL PROVINCIAL CODES, MUNICIPAL CODES, BY-LAWS, AND SHALL BE IN ACCORDANCE WITH THE BRITISH COLUMBIA BUILDING CODE 2018.
3. THE CONTRACTOR SHALL VISIT THE SITE AND BECOME FAMILIAR WITH ALL CONDITIONS. THE CONTRACTOR SHALL VERIFY ALL LINES, LEVELS, SURVEYS, DIMENSIONS AND CONDITIONS SHOWN ON THESE DRAWINGS WITH THOSE AT THE SITE. ANY VARIATION WHICH REQUIRES PHYSICAL CHANGE SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT / OWNER BEFORE COMMENCEMENT OF WORK.
4. THESE DRAWINGS, INCLUDING DIMENSIONS, SHALL BE READ IN CONJUNCTION WITH ALL OTHER PROJECT DRAWINGS. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO THE ATTENTION OF THE ARCHITECT AND OBTAIN CLARIFICATION PRIOR TO COMMENCING CONSTRUCTION.
5. THESE DOCUMENTS DO NOT INCLUDE THE NECESSARY COMPONENTS FOR SAFETY. SAFETY, CARE OF ADJACENT PROPERTIES DURING CONSTRUCTION AND COMPLIANCE WITH LOCAL REGULATIONS REGARDING SAFETY SHALL BE SOLELY THE RESPONSIBILITY OF THE CONTRACTOR.
6. ALL DIMENSIONS ARE IN METRIC UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL VERIFY DIMENSIONS BEFORE CONSTRUCTION AND REPORT DISCREPANCIES BEFORE PROCEEDING WITH THE WORK. **DO NOT SCALE DRAWINGS**
7. CONTRACTOR TO ENSURE THAT ALL WORK IS CARRIED OUT ACCORDING TO THE RULES AND CUSTOMS OF BEST TRADE PRACTICES AND THEIR SPECIFICATIONS, BY SKILLED TRADESPEOPLE KNOWLEDGEABLE OF THE TYPE OF CONSTRUCTION.
8. SHOP DRAWINGS TO BE REVIEWED IN ACCORDANCE WITH PROJECT REQUIREMENTS.
9. CAULK AND SEAL OVER AND AROUND EXTERIOR OPENINGS USING NON-HARDENING CAULKING COMPOUND. PROVIDE FOR DRAINAGE / PRESSURE EQUALIZATION PER SOUND BUILDING SCIENCE PRINCIPLES AND RECOMMENDATIONS OF RESPECTIVE CURRENT TRADE MANUALS. JOINTS NOT TO EXCEED 10 mm IN WIDTH.
10. ALL METAL FLASHING AND TRIM TO BE PER SIMA/NA RECOMMENDED PRACTICE AND DETAILS, WITH PEEL AND STICK MEMBRANE COUNTER-FLASHING UNDER. ALL FLASHING MUST SLOPE POSITIVELY TO DRAIN MIN. 5%.
11. ROOFING TO MEET RCABC REQUIREMENTS FOR A 5 YR. WARRANTY.
12. REFER TO STRUCTURAL, MECHANICAL, ELECTRICAL, CIVIL, AND LANDSCAPE DRAWINGS FOR LOCATIONS AND DIMENSIONS OF OPENINGS, SLEEVES, EMBEDDED ITEMS AND OTHER BUILDING OR SITE COMPONENTS NOT SHOWN ON THE ARCHITECTURAL DRAWINGS. REPORT DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
13. CONTRACTOR TO VERIFY LOCATIONS OF UNDERGROUND SERVICES AND BE RESPONSIBLE FOR DISRUPTIONS AND ASSOCIATED COSTS.
14. SHOULD ANY BIDDER OF THIS PROJECT FIND DISCREPANCIES IN, OR OMISSIONS FROM THE DRAWINGS, SPECIFICATIONS OR DOCUMENTS, OR SHOULD BE IN DOUBT AS TO THEIR MEANING, HE OR SHE SHALL NOTIFY THE ARCHITECT IN WRITING A MINIMUM OF 48 HOURS PRIOR TO TENDER CLOSING.
15. CHARGES FOR EXTRAS TO THE CONTRACT MUST BE BROUGHT TO THE ARCHITECT'S ATTENTION BEFORE THE WORK PROCEEDS. ADEQUATE TIME MUST BE ALLOWED FOR REVIEW AND APPROVAL OF EXTRAS BY THE ARCHITECT. WORK WHICH PROCEEDS BEFORE CONSULTANT APPROVAL IS OBTAINED MAY NOT BE GRANTED EXTRA PAYMENT.
16. A MINIMUM OF 24 HRS. NOTIFICATION IS REQUIRED FOR REVIEW AND INSPECTIONS PERTAINING TO PART 2 OF THE BRITISH COLUMBIA BUILDING CODE 2018.
17. ALL EXTERIOR EXPOSED STEEL NOT HOT DIP GALVANIZED OR PRE-FINISHED TO BE PAINTED WITH ZINC RICH PRIMER (CLOVAZINC AND 2 COATS CLOVATHANE URETHANE PAINT - COLOUR TO BE SELECTED BY CONSULTANT)
18. ALL STAIRS TO CONFORM TO THE BRITISH COLUMBIA BUILDING CODE 2018 REQUIREMENTS FOR TACTILE WARNING SYSTEMS.
19. CONTRACTOR TO SUPPLY AND INSTALL 100 mm (4") DIAMETER SCHEDULE 40 PVC SLEEVES AT A DEPTH OF 450 mm (18") CONNECTING ALL PLANTING AREAS SHOWN ON LANDSCAPE PLANS AS APPLICABLE.
20. MAINTAIN CONTINUITY OF ALL FIRE SEPARATIONS AS THEY OCCUR IN WALL AND FLOOR ASSEMBLIES.
21. SCOPE: 1) EXTERIOR BUILDING ENVELOPE, INCLUDING STAIRS, LEVEL 2 FLOOR, ALL CLADDING, ALL EXTERIOR WINDOWS AND DOORS ARE CONSIDERED TO BE PART OF THE PRE-ENGINEERED STEEL BUILDING PACKAGE.  
2) ALL INTERIOR FRAMING, FINISHING, INTERIOR DOORS AND MILLWORK ARE CONSIDERED TO BE PART OF THE GENERAL CONTRACT.

## ABBREVIATIONS

AL	ALUMINUM	M	MILLWORK
ADO	AUTOMATIC DOOR OPERATOR	MTL	METAL
AND	AND/SEE	NCC	NON-COMBUSTIBLE CONSTRUCTION
ASSY	ASSEMBLY	N/C	NOT IN CONTRACT
BLDG	BUILDING	NTS	NOT TO SCALE
CC	COMBUSTIBLE CONSTRUCTION	OC	ON CENTER
CLG	CEILING	O.C.	ON CENTER
CLR	CLEAR (FINISHED)	OH	OVERHEAD
CMU	CONCRETE MASONRY UNIT	PFMS	PRE-FINISHED METAL SIDING
CONC	CONCRETE	PLAM	PLASTIC LAMINATE
CW	COMPLETE WITH	PWD	PLYWOOD
DET	DETAIL	PNL	PANEL
DR	DOOR	POL	POLISHED
DN	DOWN	POLV	POLY VAPOUR BARRIER
DW	DISHWASHER	PF	PRE-FINISHED
ELEC	ELECTRICAL	PS	PRESSED STEEL
ELEV	ELEVATION / ELEVATOR	PT	PAINT
EXIST	EXISTING	P.T.	PRESSURE TREATED (WOOD)
EXT	EXTERIOR	PTD	PAINTED
EXP	EXPOSED	R	RUBBER
FOP	FIBER CEMENT PANEL	R.A.	ROOF ANCHOR
FD	FLOOR DRAIN	RCP	REFLECTED CEILING PLAN
FDC	FIRE DEPARTMENT CONNECTION	RD	ROOF DRAIN
FDN	FOUNDATION	REN	REINFORCED
FFE	FINISHED FLOOR ELEVATION	RM	ROOM
FH	FIRE HYDRANT	RWL	RAIN WATER LEADER
FN	FINISHED	S	SEALER
FRR	FIRE-RESISTANCE RATING	SD	SANITARY DRAIN
FTG	FOOTING	SM	SIMILAR
FL	FLOOR	SP	STAND PIPE
FX	FIRE EXTINGUISHER	STL	STEEL
GALV	GALVANIZED	STRUC	STRUCTURAL
GL	GLASS	TD	TRENCH DRAIN
GWB	GYPSUM WALL BOARD	TG	TEMPERED SAFETY GLASS
HB	HOSE BIB	TO	TOP OF
HM	HOLLOW METAL	TP	TYPICAL
HRR	HANDRAIL	UNO	UNLESS NOTED OTHERWISE
HSS	HOLLOW STRUCTURAL SECTION	US	UNDERSIDE
HT	HEIGHT	WD	WOOD
INSUL	INSULATION	WID	WASHER/DRYER
LAM	LAMINATE	WL	WALL LIGHT
LC	LINEN CLOSET	WT	WATER TANK
LSG	LAMINATED SAFETY GLASS	W	WITH
m	METER(S)	W	WITH
mm	MILLIMETER(S)	@	AT
MIN	MINIMUM	%	PERCENT

## LEGEND

W1	WALL TYPE
D1	DOOR NUMBER
01	WINDOW NUMBER
101	ROOM NUMBER
AREA	W. AREA
C1	CEILING TYPE
HEIGHT	W. HEIGHT
1	KEYNOTE
+	SPOT ELEVATION
FFE	FINISHED FLOOR ELEVATION
---	PROPERTY LINE
---	LINE ABOVE / BELOW
	MINERAL BATT INSULATION
---	SBS WATERPROOFING MEMBRANE
---	S.A. MEMBRANE
---	POLY VAPOUR BARRIER MEMBRANE
---	AIR BARRIER MEMBRANE

## CONTEXT PLAN

## PROJECT TEAM:

### CLIENT:

REGIONAL DISTRICT OF NANAIMO  
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### QUANTITY SURVEYOR:

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## BUILDING INFORMATION

- 1.0 **APPLICABLE BUILDING CODE:** BRITISH COLUMBIA BUILDING CODE 2018  
**APPLICABLE BUILDING CODE PART:** PART 3
- 2.0 **PROJECT BUILDING CHARACTERISTICS**  
MUNICIPALITY: NANAIMO REGIONAL REGIONAL DISTRICT - ELECTORAL AREA G  
CIVIC ADDRESS: 230 HOBBS RD.  
LEGAL DESCRIPTION: LOT 1, DISTRICT LOT 80, NEWCASTLE DISTRICT, PLAN 41282  
PROPERTY ID: 000561122  
MAJOR OCCUPANCY: GROUP F DIVISION 2 (MEDIUM-HAZARD INDUSTRIAL)  
GROUP D (BUSINESS AND PERSONAL SERVICES)  
  
NUMBER OF BUILDINGS: 1
- 3.0 **BUILDING CODE ANALYSIS**  
  
REFER TO BUILDING CODE MATRIX
- 4.0 **ZONING REQUIREMENTS:**  
  
OCP LAND USE: ELECTORAL AREA G OCP, RURAL RESIDENTIAL 3  
ZONE: BL 500, PU1, H  
SITE AREA: 8,075 m<sup>2</sup>  
LOT COVERAGE: 14%  
MIN. SETBACKS: 8.0 m FRONT (HOBBS RD)  
5.0 m INTERIOR SIDE  
5.0 m EXTERIOR SIDE  
5.0 m REAR
- 5.0 **PARKING REQUIREMENTS**  
  
PARKING SPACES: 22
- 6.0 **BUILDING ENVELOPE REQUIREMENTS**  
  
APPLICABLE ENERGY STANDARD: NECB 2015  
REFER TO ENERGY MODELLING REPORT PREPARED BY AME GROUP (10 PAGES, DATED MARCH 3, 2022)

## DRAWING LIST

### ARCHITECTURAL

- A.0.0 TITLE PAGE
- A.0.1 ASSEMBLIES + CODE REVIEW
- A.0.2 SCHEDULES
- A.1.0 SITE PLAN
- A.1.1 LEVEL 01 FLOOR PLAN + RCP
- A.1.2 LEVEL 02 FLOOR PLAN + RCP
- A.1.3 ROOF PLAN
- A.1.4 LEVEL 01 + 02 FIXTURES AND FINISHES
- A.2.0 ELEVATIONS
- A.3.0 BUILDING SECTIONS
- A.3.1 WALL SECTIONS
- A.4.0 STAR DETAILS
- A.5.0 DETAILS
- A.5.1 DETAILS
- A.5.2 WINDOW & DOOR DETAILS
- A.6.0 MILLWORK - ENTRY AND OFFICE
- A.6.1 MILLWORK - OFFICE
- A.6.2 MILLWORK - SUPPORT AREAS
- A.6.3 MILLWORK - APPARATUS BAYS SUPPORT
- A.6.4 MILLWORK - KITCHEN
- A.6.5 MILLWORK - WASHROOMS
- A.6.7 MILLWORK - BARRIER FREE WC + ACCESSIBLE DESIGN

### STRUCTURAL

- S1.01 GENERAL NOTES AND TYPICAL DETAILS
- S1.02 GENERAL NOTES AND TYPICAL DETAILS
- S1.03 GENERAL NOTES AND TYPICAL DETAILS
- S1.04 GENERAL NOTES AND TYPICAL DETAILS
- S2.00 FOUNDATION PLAN / MAIN FLOOR PLAN
- S2.01 FOUNDATION MAIN FLOOR REINFORCEMENT PLAN
- S2.02 LEVEL 2 AND ROOF FRAMING PLANS
- S3.01 SECTIONS AND DETAILS

### MECHANICAL

- M001 COVERSHEET
- M002 MECHANICAL MOTORLIST
- M003 MECHANICAL SCHEDULES
- M101 MECHANICAL ROOF PLAN
- M102 MECHANICAL FOUNDATION PLAN
- M201 PLUMBING PLAN LEVEL-1
- M202 PLUMBING PLAN LEVEL-2
- M401 HVAC PLAN LEVEL-1
- M402 HVAC PLAN LEVEL-2
- M701 MECHANICAL SCHEMATICS I
- M702 MECHANICAL SCHEMATICS II
- M703 MECHANICAL SCHEMATICS III

### ELECTRICAL

- E1.0 SITE PLAN, LEGEND, AND DETAILS
- E1.1 DUCT PROFILE, SINGLE LINE DIAGRAM, ELECTRICAL ROOM LAYOUT, DETAILS, AND SCHEDULES
- E1.2 DETAILS AND SCHEDULES
- E2.0 REVISED LEVEL 1 ELECTRICAL LAYOUTS
- E2.1 REVISED LEVEL 2 ELECTRICAL LAYOUTS

### CIVIL

- C1 SERVICING PLAN, KEY PLAN AND NOTES
- C2 GRADING PLAN
- C3 DETAILS AND EROSION & SEDIMENT CONTROL PLAN

## ISSUED FOR TENDER 2022-07-22

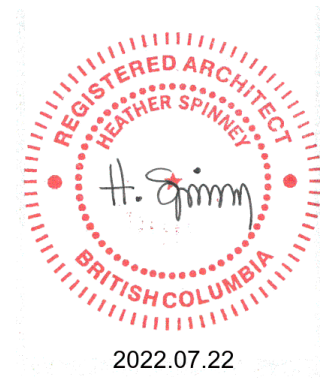
BUILDING CODE MATRIX											BCBC 2018
ITEM	PART 3										REFERENCES
							REQUIRED				
1	PROJECT DESCRIPTION		<input checked="" type="checkbox"/> NEW		<input type="checkbox"/> ADDITION		<input type="checkbox"/> ALTERATION				1.1.2
2	OCCUPANCY CLASSIFICATION MAJOR OCCUPANCY(S)		GROUP F-2 + GROUP D								14.1.2, 3.2.2.79
3	BUILDING AREA (m <sup>2</sup> )		EXISTING: N/A		NEW: 730m <sup>2</sup>		TOTAL: 730m <sup>2</sup>		MAX 1000m <sup>2</sup>		3.1.2.1,(1)
4	FLOOR AREA (m <sup>2</sup> )		BASEMENT		EXISTING: N/A		NEW: N/A		TOTAL: N/A		14.1.2
			LEVEL 1		EXISTING: N/A		NEW: 700m <sup>2</sup>		TOTAL: 700m <sup>2</sup>		
			LEVEL 2		EXISTING: N/A		NEW: 347m <sup>2</sup>		TOTAL: 347m <sup>2</sup>		
							TOTAL: 1047m <sup>2</sup>				
5	NUMBER OF STOREYS ABOVE GRADE		2				NUMBER OF STOREYS BELOW GRADE:		0		14.1.2, 3.2.2.79
6	NUMBER OF STREETS BUILDING IS FACING		2								3.2.2.10
6b	NUMBER OF FIRE FIGHTER ACCESS LANES		N/A								3.2.5
7	BUILDING CLASSIFICATION		GROUP F-2 (REPAIR GARAGE) + GROUP D								3.2.2.79 + 3.2.2.63
8	SPRINKLER SYSTEM PROPOSED		<input checked="" type="checkbox"/> ENTIRE BUILDING								3.2.1.5
			<input type="checkbox"/> SELECTED COMPARTMENTS								3.2.2.18
			<input type="checkbox"/> SELECTED FLOOR AREAS								3.2.5.13
			<input type="checkbox"/> BASEMENT								
			<input type="checkbox"/> NOT REQUIRED								
9	STANDPIPE AND HOSE REQUIRED		<input checked="" type="checkbox"/> YES		<input type="checkbox"/> NO						3.2.5.8
10	FIRE DEPARTMENT CONNECTIONS		< 45 m FROM HYDRANT								3.2.5.15
11	LOCATION OF ACCESS ROUTES		PRINCIPAL ENTRANCE LOCATED 3-15 m FROM ACCESS ROUTE								3.2.5.5.(1)
12	WATER SERVICE / SUPPLY IS ADEQUATE		<input checked="" type="checkbox"/> YES		<input type="checkbox"/> NO						3.2.5
13	HIGH BUILDING		<input type="checkbox"/> YES		<input checked="" type="checkbox"/> NO						3.2.6
14	PORTABLE FIRE EXTINGUISHERS		(PER FIRE CODE)								3.2.5.16
15	FIRE ALARM REQUIRED		<input checked="" type="checkbox"/> YES		<input type="checkbox"/> NO						3.2.4.1
16	CONTINUITY OF FIRE ALARM SYSTEMS		<input checked="" type="checkbox"/> YES		<input type="checkbox"/> NO						3.2.4.2
17	TYPES OF FIRE ALARM SYSTEMS		SINGLE STAGE								3.2.4.3
18	ANNUNCIATOR AND ZONE INDICATION		<input checked="" type="checkbox"/> YES		<input type="checkbox"/> NO						3.2.4.8
19	EMERGENCY LIGHTING + POWER		PROVIDED								3.2.7.3, 3.2.7.4
20	EMERGENCY POWER FOR FIRE ALARM		BATTERY								3.2.7.8
21	CONSTRUCTION RESTRICTIONS		<input type="checkbox"/> COMBUSTIBLE PERMITTED		<input type="checkbox"/> NON-COMBUSTIBLE REQUIRED		<input checked="" type="checkbox"/> BOTH PERMITTED				3.2.2.79 + 3.2.2.63
22	MEZZANINE(S)		<input type="checkbox"/> YES		<input checked="" type="checkbox"/> NO		AREA (m <sup>2</sup> )				3.2.8
23	INTERCONNECTED FLOOR SPACE		<input checked="" type="checkbox"/> YES (APP. BAY)		<input type="checkbox"/> NO						3.8.2.6.(6)
24	OCCUPANT LOAD		50 PER FIRE CHIEF, 4 DORMS SLEEP 4 MAX (INCLUDED IN OCC. LOAD)								
25	BARRIER FREE DESIGN		<input checked="" type="checkbox"/> YES		<input type="checkbox"/> NO						3.8
	EXPLAIN		PROVIDES ACCESSIBLE ENTRANCE AND PATH OF TRAVEL IN LEVEL 1 COMMON AREAS								3.8.2.1.(1)(B)
			UNIVERSAL WASHROOM PROVIDED								3.8.3.12
26	REQUIRED FIRE RESISTANCE RATING		ASSEMBLIES		REQUIRED		LISTED DESIGN NO. OR DESCRIPTION				3.2.2.79 + 3.2.2.63
			FLOORS		45 MINS IF C.CONST.		REFER TO ASSEMBLIES				
			ROOF		N/A		REFER TO ASSEMBLIES				
			MEZZANINE		N/A		REFER TO ASSEMBLIES				
			MEMBERS		REQUIRED		LISTED DESIGN NO. OR DESCRIPTION				
			LOADBEARING WALLS, COLUMNS, ARCHES		SAME AS SUPPORTED ASSEMBLY		REFER TO ASSEMBLIES				
27	SPATIAL SEPARATION AND EXPOSURE PROTECTION										TABLE 3.2.3.1-D
	BLDG FACE	EFB AREA (m <sup>2</sup> )	LIMITING DISTANCE (m)	UPD AREA (m <sup>2</sup> )	OPENINGS PERMITTED (%)	OPENINGS ACTUAL (%)	F R R REQUIRED (MIN)	CONSTRUCTION REQUIRED	CLADDING REQUIRED		3.2.3.7
	SOUTH	146	15	24.5	100	17%	0	NC / C	NC / C		
	EAST	200	15	56	100	28%	0	NC / C	NC / C		
	NORTH	146	28	4.6	100	3%	0	NC / C	NC / C		
	WEST	200	36	64	100	32%	0	NC / C	NC / C		
28	PLUMBING FACILITIES										3.7.2.2
			OCCUPANCY	50	UNIVERSAL	%OCC/SEX	W/C(M)	W/C(F)	W/C(SHARED)		
			SU / JND		<input checked="" type="checkbox"/> YES	<input type="checkbox"/> YES (10)	20	2	2	N/A	3.7.2.2-B
29	UNIVERSAL WASHROOMS REQUIRED		<input checked="" type="checkbox"/> YES								3.8.2.8.(2)(V)
30	MAJOR OCCUPANCY FIRE SEPARATIONS		ADJOINING OCCUPANCIES:		FIRE RESISTANCE RATING						TABLE 3.13.1
			F-2 : D								
31	ROOMS REQUIRING FIRE SEPARATIONS		ROOM TYPES		FIRE RESISTANCE RATING						
			SEPARATION OF SUITES		1 HR						3.3.4.2
			STORAGE ROOM		1 HR						3.3.4.3
			REPAIR GARAGE		2 HR						3.3.5.6
			EXIT SEPARATIONS		SAME AS FLOOR ABOVE						3.4.4.1
			SERVICE ROOMS		1 HR OR N/A IF MEETS 3.6.2.1(8)						3.6.2.1
			COMBUST. REFUSE STORAGE		1 HR						3.6.2.5
32	EXIT QUANTITY AND LOCATION		2 EXITS >6m APART AND <15m TO STREET								3.4.2.1
33	TRAVEL DISTANCE		40 m (GROUP D OCCUPANCY) OR 45 m (ELSEWHERE)								3.4.2.5.(1)(c)
34	MIN. EXIT CORRIDOR + STAIR WIDTH		1100 mm								TABLE 3.4.3.2-A
35	MAX. EXIT WIDTH REDUCTION		100 mm PROJECTION ON EACH SIDE = 900 mm REDUCED WIDTH								3.4.3.3.(4)
36	MIN. HEADROOM CLEARANCE		2050 mm CLEAR HEIGHT								3.4.3.4
38	EXIT SIGNS		<input checked="" type="checkbox"/> YES		<input type="checkbox"/> NO		ON ALL EXIT DOORS				3.4.5.1
39	EXIT SIGNS AT EXIT LEVEL		<input checked="" type="checkbox"/> YES		<input type="checkbox"/> NO		INDICATING LEVELS BEYOND EXIT LEVEL				3.4.5.2
41	FLOOR NUMBERING		<input checked="" type="checkbox"/> YES		<input type="checkbox"/> NO		MOUNTED IN EXIT STAIRS AT EACH LEVEL				3.4.6.19
42	SELF-CLOSING DEVICES		<input checked="" type="checkbox"/> YES		<input type="checkbox"/> NO		ALL DOORS IN FIRE SEPARATIONS				3.4.6.13
43	DOOR RELEASE HARDWARE		<input checked="" type="checkbox"/> YES		<input type="checkbox"/> NO		ALL DOORS IN EXIT PATH OF TRAVEL				3.4.6.16
44	MAX FLAME SPREAD RATING (INT. FINISHES)		CORRIDORS=150		EXITS=25						3.1.13.2-6
45	FOAM PLASTICS PROTECTION		<input checked="" type="checkbox"/> YES		<input type="checkbox"/> NO						3.14.2.3.1.5

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Do not scale the drawings.

5	2022-07-22	ISSUED FOR TENDER
4	2022-05-20	ISSUED FOR CLASS A COSTING
3	2022-03-04	ISSUED FOR BUILDING PERMIT
2	2021-09-27	ISSUED FOR 100% DD
1	2021-08-25	ISSUED FOR 60% DD

NO.	DATE	DESCRIPTION
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SEAL



2022.07.22

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## DASHWOOD FIRE HALL REPLACEMENT

230 HOBBS ROAD  
QUALICUM BEACH BC

SHEET TITLE

TITLE PAGE

DATE	2022-01-14	SHEET NO.
PROJECT NO.	20-007	
SCALE	As Indicated	A0.0
DRAWN BY	LK	



WALLS - EXTERIOR

W1 METAL PANEL

W1A: CHARCOAL  
W1B: RED  
R-16.5 (75 mm) INSULATED METAL PANELS (VERTICAL APPLICATION)  
HORIZONTAL METAL GIRTS  
APPARATUS BAY: GIRTS TO BE INSTALLED TO BYPASS STEEL COLUMNS  
OFFICE: GIRTS TO BE INSTALLED BETWEEN STEEL COLUMNS  
STEEL STRUCTURE (ASSUMED AS PART OF PRE-ENGINEERED STEEL BUILDING PACKAGE)  
VERTICAL 22 mm DEEP HAT CHANNELS @ 400 mm O.C. (NOT REQ'D IN APPARATUS BAY)  
16 mm GWB PTD (NOT REQ'D IN APPARATUS BAY)

ASSEMBLY NOTES:

1. MAINTAIN CONTINUITY OF ALL FIRE SEPARATIONS AS THEY OCCUR IN WALL AND FLOOR ASSEMBLIES
2. PRE-ENGINEERED STEEL STRUCTURE

WALLS - INTERIOR

P1 TYPICAL PARTITION

P1A: 31 x 92mm STEEL STUDS  
P1B: 31 x 152mm STEEL STUDS  
16mm GWB PTD  
STEEL STUDS (REFER TO STRUCTURAL FOR GAUGE + SPACING)  
16mm GWB PTD

\*\* NOTE \*\*  
USE MOISTURE RESISTANT GWB IN WET AREAS.  
INCLUDE ACOUSTIC INSULATION IN WC, OFFICES, AND DORMS.

P2 RATED PARTITION (1HR)  
ULC Des U419 1 HR FRR

16mm TYPE X GWB PTD  
92mm STEEL STUDS (REFER TO STRUCTURAL FOR GAUGE + SPACING)  
16mm TYPE X GWB PTD

P3 APPARATUS BAY - RATED  
ULC Des U423 2 HR FRR

16mm TYPE X GWB x 2 LAYERS PTD  
150mm STEEL STUDS (REFER TO STRUCTURAL FOR GAUGE + SPACING)  
R-21 INSULATION  
16mm TYPE X GWB x 2 LAYERS PTD

\*\* NOTE \*\*  
USE MOISTURE RESISTANT GWB ON APPARATUS BAY SIDE  
PROVIDE 12.7mm CLEAR SEALED MAPLE VENEER PLYWOOD CORE WALL PROTECTION BOARD ON APPARATUS BAY SIDE

P4 APPARATUS BAY - TYPICAL

P4A: 31 x 92mm STEEL STUDS  
P4B: 31 x 152mm STEEL STUDS

16mm MOISTURE RESISTANT GWB  
STEEL STUDS  
16mm MOISTURE RESISTANT GWB

\*\* NOTE \*\*  
REFER TO ROOM FINISH SCHEDULE FOR ADDITIONAL WALL PROTECTION / TREATMENT AS APPLICABLE

FW FURRING WALL

16mm GWB PTD  
150mm STEEL STUDS 16mm

ROOFS

R1 METAL ROOF (TYPICAL)

100 mm CFR INSULATED METAL ROOF PANELS W/ STANDING SEAM (R-22 EFFECTIVE)  
PERPENDICULAR METAL GIRTS TO BE INSTALLED TO BYPASS STEEL COLUMNS  
STEEL STRUCTURE (ASSUMED AS PART OF PRE-ENGINEERED STEEL BUILDING PACKAGE)  
EXPOSED STRUCTURE @ APPARATUS BAY

R2 ROOF DECK OVER CONDITIONED SPACE

CONCRETE PAVERS ON PEDESTALS OR DRAINAGE MAT OR GATOR BASE  
HYBRID INSULATION SYSTEM TO ACHIEVE R-30 CONTINUOUS INSULATION ENTIRELY ABOVE DECK AS FOLLOWS:  
• MINERAL-COATED STONE WOOL COVER BOARD INSULATION (ROCKWOOL)  
• POLYISOCYANURATE INSULATION  
(INCLUDE FOR POSITIVE SLOPE TAPER PACKAGE AS APPLICABLE)  
2 PLY SBS MEMBRANE ASSEMBLY  
GYPSUM-FIBER ROOF BOARD  
METAL DECK  
STEEL FRAMING SYSTEM  
REFER TO RCP FOR CEILING TREATMENT AS APPLICABLE

FLOORS

F1 CONCRETE SLAB ON GRADE

CONCRETE\* SLAB ON GRADE  
\*POLISHED AND SEALED W/ 3% XYPEX ADMIX 1000 ADDED TO CONC. MIX  
10 MIL POLY VB  
R-15 HIGH STRENGTH XPS INSULATION FOR 610mm

F2 TYPICAL FLOOR  
ULC DES. D503 (GWB SUSPENDED) 45MIN FRR

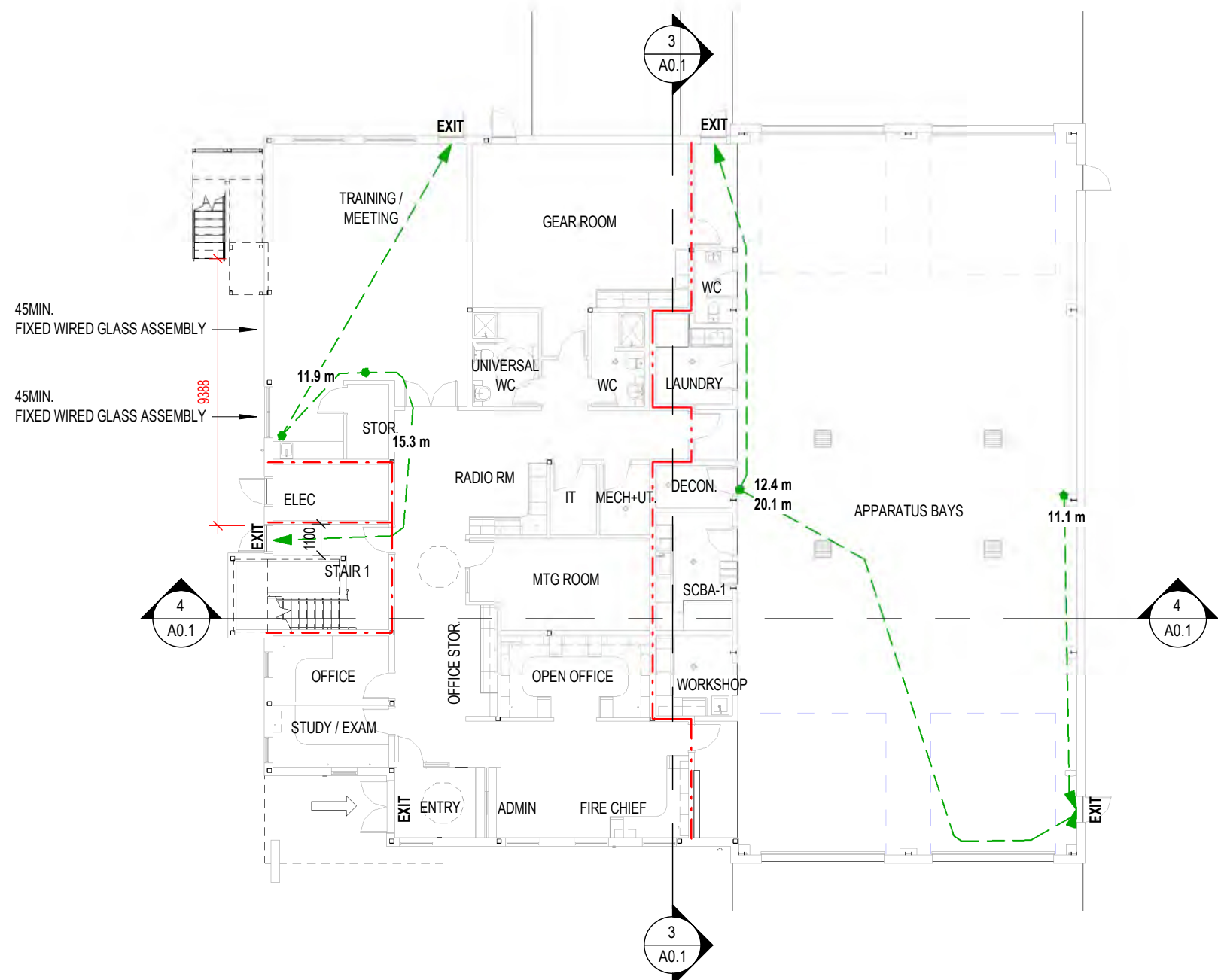
FLOOR FINISH AS SCHEDULED  
CONCRETE TOPPING  
METAL DECK  
STEEL FRAMING  
REFER TO RCP FOR CEILING TREATMENT AS APPLICABLE

F3 FLOOR OVER APPARATUS BAY  
ULC DES. G524 (GWB @ UIS STEEL) 1.5HR FRR  
ULC DES. G213 (GWB SUSPENDED) 1.5HR FRR

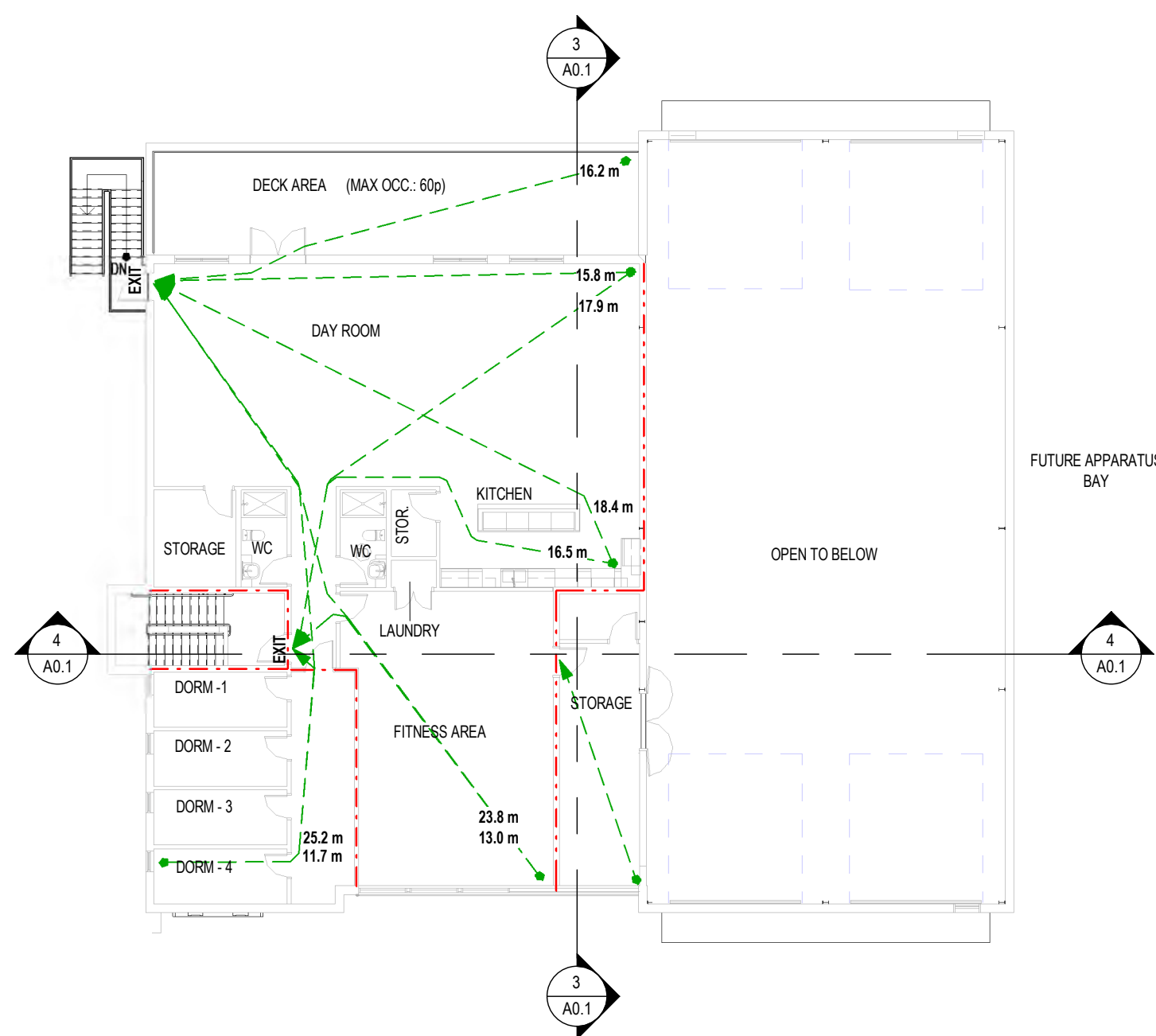
FLOOR FINISH AS SCHEDULED  
CONCRETE TOPPING, ABOVE  
METAL DECK  
STEEL FRAMING  
FURRING CHANNELS AND/OR HANGER WIRE (PER ULC DESIGN)  
16mm MOISTURE RESISTANT TYPE X GWB  
REFER TO RCP FOR CEILING TREATMENT AS APPLICABLE

F4 FLOOR OVER UNCONDITIONED SPACE (OVER FRONT ENTRY)  
ULC DES. G524 (GWB @ UIS STEEL) 45MIN FRR

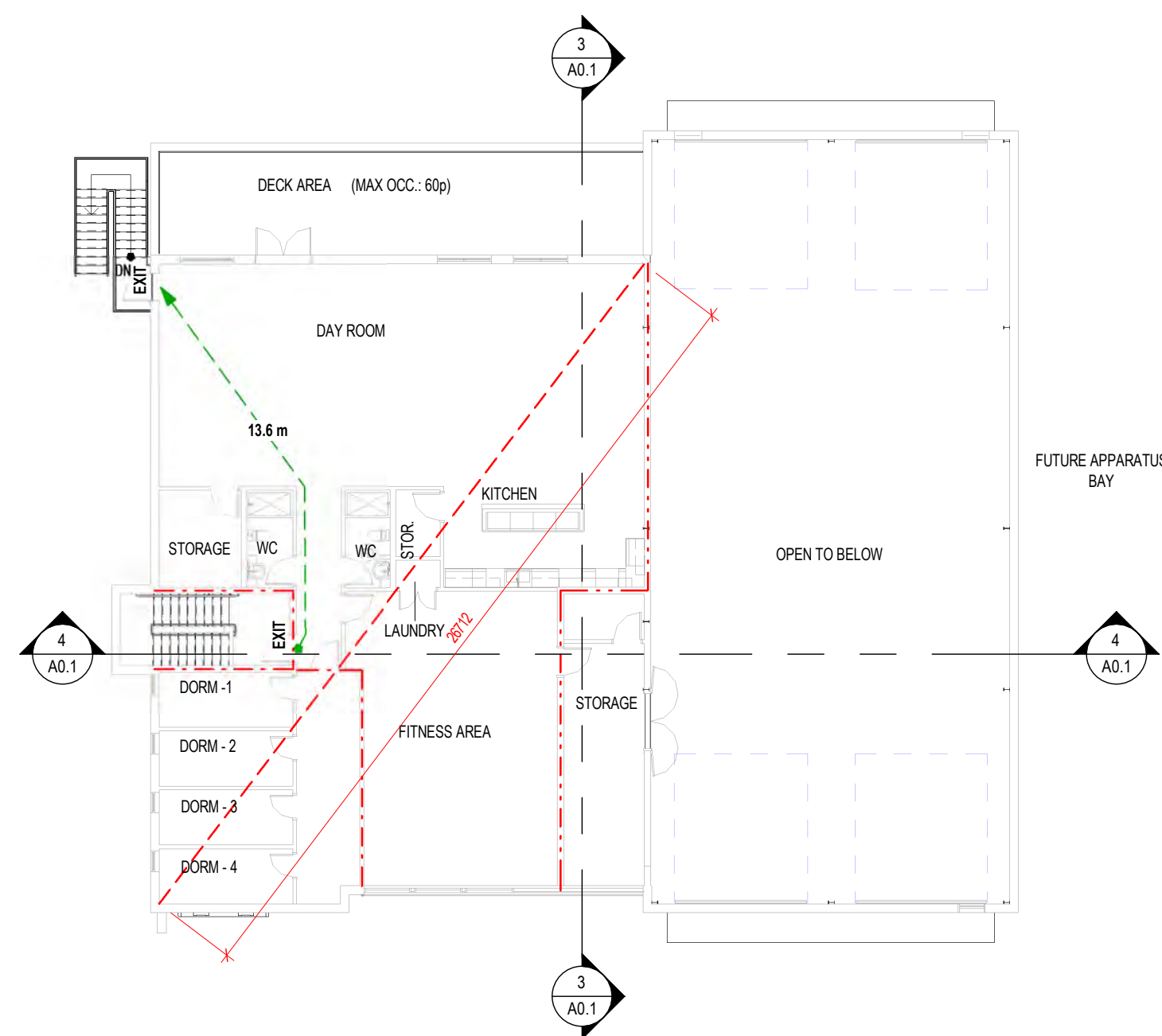
FLOOR FINISH AS SCHEDULED  
CONCRETE TOPPING  
METAL DECK  
STEEL FRAMING  
R-30 (200 mm) GLASS FIBRE INSULATION SPRAY (MONOGLAS) BETWEEN JOISTS  
FURRING CHANNELS  
PREFINISHED METAL SOFFIT (VENTED)



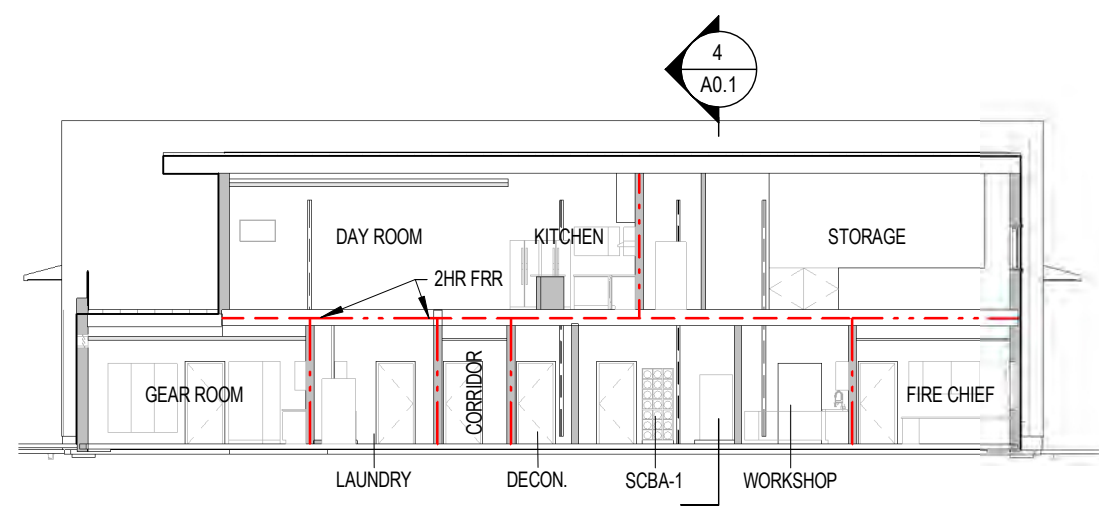
1 LEVEL 01 - TRAVEL DISTANCE  
1 : 200



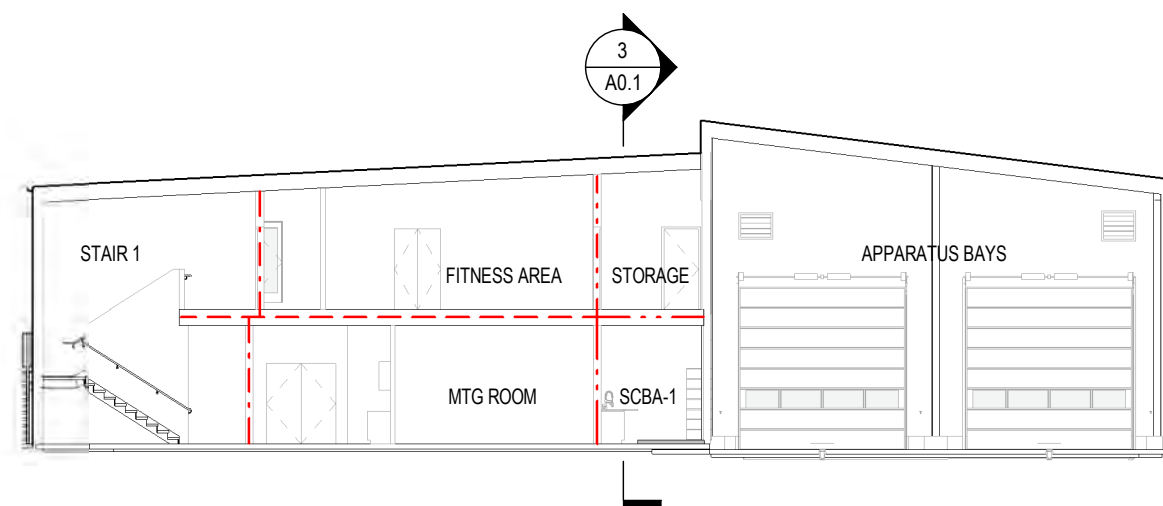
2 LEVEL 02 - TRAVEL DISTANCE  
1 : 200



5 LEVEL 02 - DISTANCE BTWN EXITS  
1 : 200

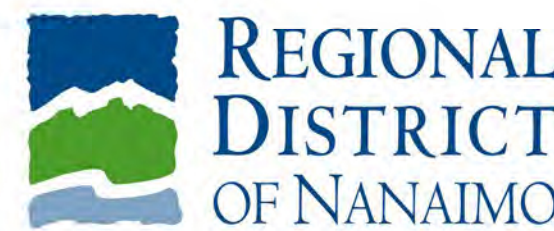


3 SECTION 1 - FIRE SEPARATIONS  
1 : 200



4 SECTION 2 - FIRE SEPARATIONS  
1 : 200

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FIRE SEPARATION LEGEND

LINE PATTERN	HOURS
---	0.75
---	1
---	1.5
---	2

\*\* NOTE \*\*

ALL PENETRATIONS TO BE FIRESTOPPED W/ APPROVED ULC SYSTEMS BY HLTI, 3M OR EQUIVALENT

EXIT LEGEND

---	PATH OF TRAVEL
## # m	TRAVEL DISTANCE TO EXIT 1 / EXIT 2

5	2022-07-22	ISSUED FOR TENDER
4	2022-05-20	ISSUED FOR CLASS A COSTING
3	2022-03-04	ISSUED FOR BUILDING PERMIT
2	2021-09-27	ISSUED FOR 100% DD
1	2021-08-25	ISSUED FOR 60% DD

NO.	DATE	DESCRIPTION
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SEAL



Heather Spinney, Architect, AIBC  
Robert Rocheleau, Architect, AIBC

401 - 1245 Esquimalt Rd. Victoria, BC V8A 3P2  
250 475 2702 studppa.ca

PROJECT TITLE  
DASHWOOD FIRE HALL  
REPLACEMENT

230 HOBBS ROAD  
QUALICUM BEACH BC

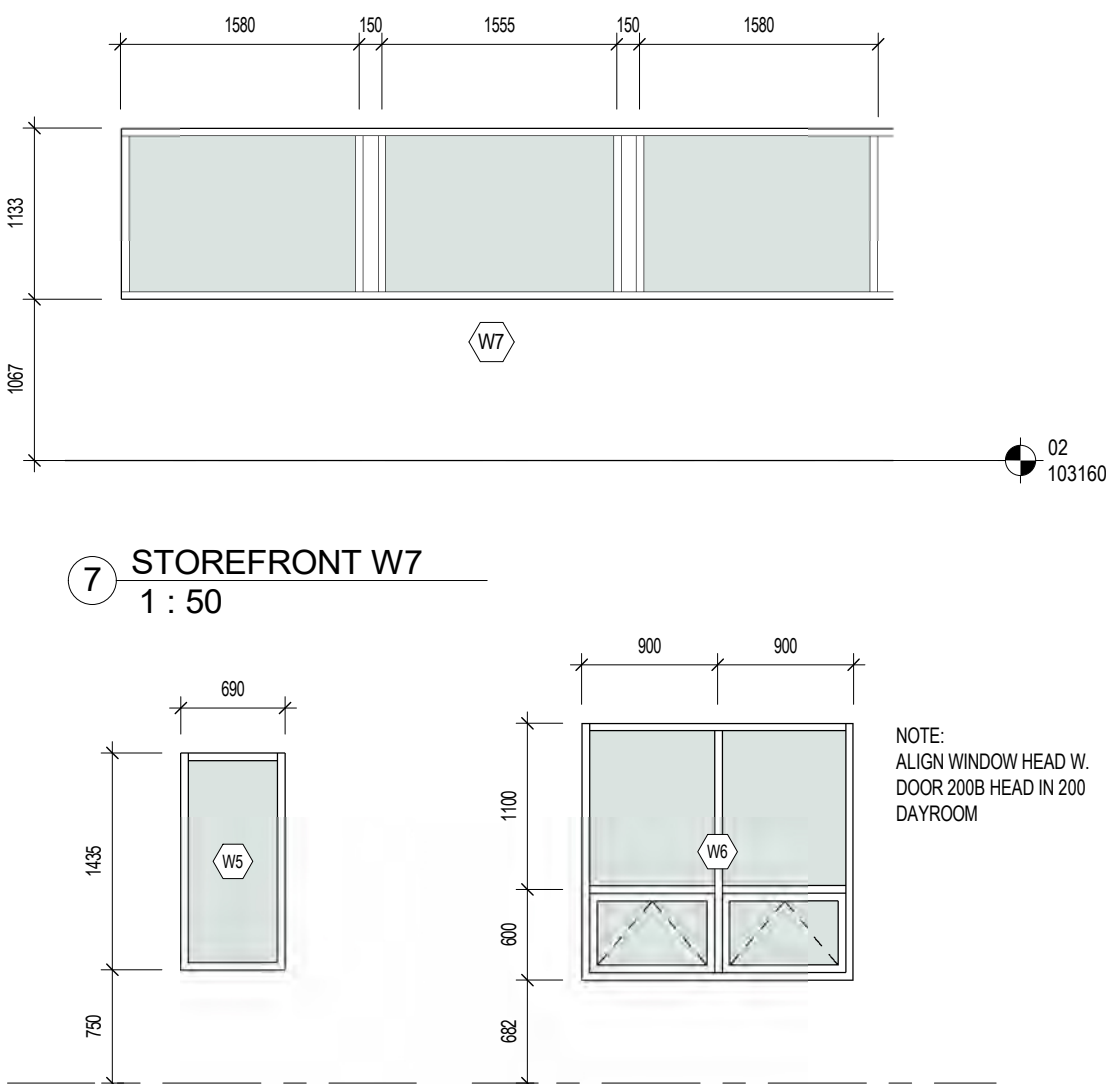
SHEET TITLE

ASSEMBLIES + CODE REVIEW

DATE	2022-01-14	SHEET NO.
PROJECT NO.	20-007	A0.1
SCALE	As Indicated	
DRAWN BY	LK	



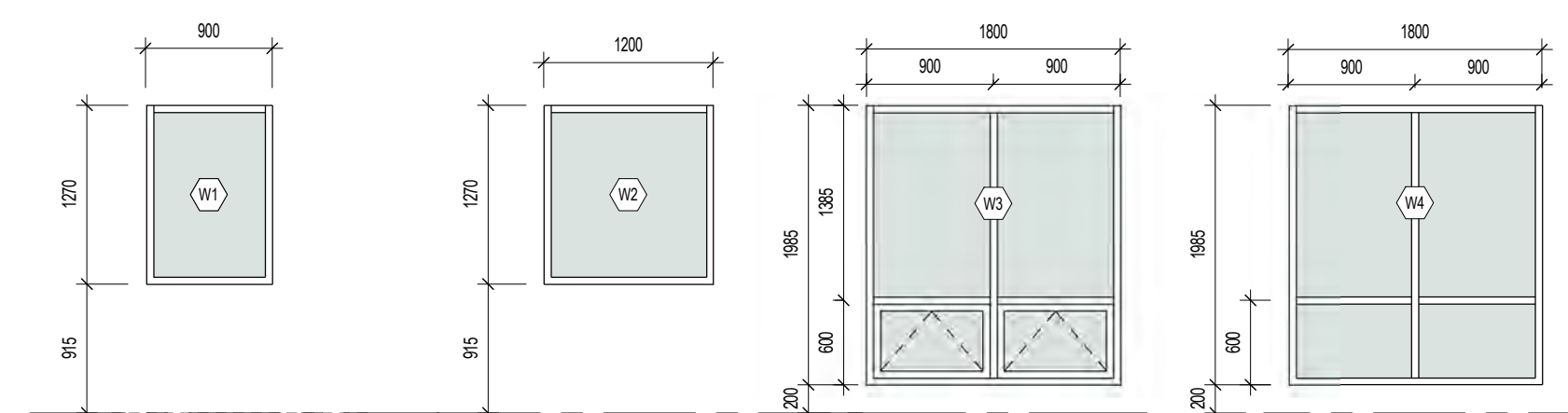
## WINDOW SCHEDULE (ALIGN WINDOW HEAD W. DOOR HEAD UNO)



7 STOREFRONT W7  
1 : 50

5 STOREFRONT W5  
1 : 50

6 STOREFRONT W6  
1 : 50



1 STOREFRONT W1  
1 : 50

2 STOREFRONT W2  
1 : 50

3 STOREFRONT W3  
1 : 50

4 FIXED WIRED GLASS W4  
1 : 50

**\*\* NOTE \*\***  
DOUBLE GLAZED, LOW E, ARGON FILLED THERMALLY BROKEN STOREFRONT SYSTEM (TYP.)  
TO MEET NAFS PERFORMANCE REQUIREMENTS AS SPECIFIED  
COLOUR = BLACK OR CHARCOAL

## WINDOW NOTES

REFER TO CBC 2018 AND ASHRAE 90.1 2016 FOR ADDITIONAL INFORMATION

1. COORDINATE TRICKLE VENTS WITH MECHANICAL AS REQUIRED.

2. WINDOWS IN PUBLIC AREA > 1000mm HIGH A.F.F. MUST BE PROTECTED BY BARRIER OR RAILING 1070mm A.F.F. OR WINDOW REQUIRED TO BE NON-OPERABLE AND DESIGNED TO WITHSTAND THE LATERAL DESIGN LOADS FOR BALCONY GUARDS.  
CBC 2018: TRANSPARENT DOORS AND PANELS 3.3.1.19(8), LOADS ON GUARDS AND HANDRAILS 4.1.5.14.

3. WINDOWS AND DOORS SHALL COMPLY WITH:  
1. AMERICAN NATIONAL STANDARDS (ANSI) 101.15.2/4/40, "NAFS - NORTH AMERICAN FENESTRATION STANDARDS/SPECIFICATIONS FOR WINDOWS, DOORS AND SKYLIGHTS" AND;  
2. CSA A440.51 "CANADIAN SUPPLEMENT TO AMERICAN NATIONAL STANDARDS (ANSI) 101.15.2/4/40, "NAFS - NORTH AMERICAN FENESTRATION STANDARDS/SPECIFICATIONS FOR WINDOWS, DOORS AND SKYLIGHTS".  
CBC 2018: DESIGN AND CONSTRUCTION 5.9.2.2.

## NAFS MINIMUM PERFORMANCE REQUIREMENTS FOR WINDOWS AND GLAZED DOORS

PERFORMANCE CLASS	LC
MINIMUM PERFORMANCE GRADE	25
MINIMUM POSITIVE DESIGN PRESSURE	1200 Pa
MINIMUM NEGATIVE DESIGN PRESSURE	-1200 Pa
MINIMUM WATER PENETRATION TEST PRESSURE	290 Pa
MINIMUM CANADIAN AIR INFILTRATION / EXFILTRATION	A2
CONDENSATION RESISTANCE:	63

## MINIMUM PERFORMANCE REQUIREMENTS - FENESTRATION FOR METAL FRAMING

FIXED, MAXIMUM ASSEMBLY U VALUE:	0.38
ENTRANCE DOOR, MAXIMUM ASSEMBLY U VALUE:	0.88
MAXIMUM ASSEMBLY SOLAR-HEAT GAIN COEFFICIENT:	0.38

## MINIMUM PERFORMANCE REQUIREMENTS - OPAQUE DOORS

MAXIMUM ASSEMBLY U VALUE:	0.37
---------------------------	------

## FIELD TESTING

ASTM STANDARD E1105-02 "STANDARD TEST METHOD FOR FIELD DETERMINATION OF WATER PENETRATION OF INSTALLED EXTERIOR WINDOWS, CURTAIN WALLS, AND DOORS BY UNIFORM OR CYCLIC STATIC AIR PRESSURE DIFFERENCE.

A MINIMUM OF 3 WINDOWS AND ONE PATIO DOOR ARE TO BE TESTED ON SITE PER ASTM STANDARD E1105-02, PROCEDURE A.

THE WINDOW FABRICATION AND INSTALLATION ARE TO MEET OR EXCEED TEST STANDARDS NOTED ABOVE. SHOULD WINDOW INSTALLATION OR FABRICATION NOT MEET THE SPECIFIED STANDARD, THE MANUFACTURER / INSTALLER SHALL RECTIFY DEFECTS IN WINDOW FABRICATION AND / OR INSTALLATION FOR ALL WINDOWS INSTALLED.

A FURTHER TEST WILL BE CONDUCTED AT CONTRACTOR'S EXPENSE (INCLUDING PRESENCE OF RELEVANT CONSULTANTS) WHERE FAILED UNITS AND 2 ADDITIONAL RANDOMLY SELECTED WINDOWS WILL BE TESTED.

THIS PROCEDURE IS TO BE REPEATED UNTIL ALL WINDOWS IN THE TEST SAMPLE PASS THE SPECIFIED STANDARD.

## ROOM FINISH SCHEDULE

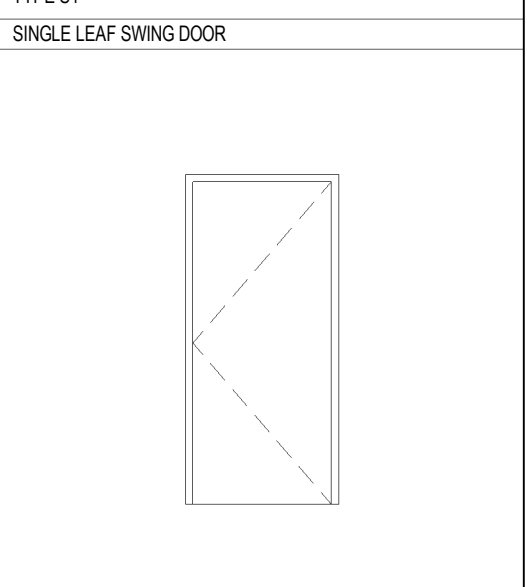
FINISH SCHEDULE									
LEVEL	ROOM NO.	ENTRY	ROOM NAME	ROOM TYPE	FINISH	FLOOR	BASE	FINISH	WALLS
01	100	ENTRY	LOBBY	CS	RCB	GWB / PT			
01	101	CORRIDOR	CORRIDOR	CS	RCB	GWB / PT			
01	102	ADMIN	OPEN OFFICE	CS	RCB	GWB / PT			
01	103	FIRE CHIEF	OPEN OFFICE	RES	RCB	GWB / PT			
01	104	OPEN OFFICE	OPEN OFFICE	RES	RCB	GWB / PT			
01	105	STUDY / EXAM	OFFICE	RES	RCB	GWB / PT			
01	106	OFFICE	OFFICE	RES	RCB	GWB / PT			
01	107	STAIR 1	STAIR	RES	RCB	GWB / PT			
01	108	MTG ROOM	OFFICE	RES	RCB	GWB / PT			
01	109	ELEC	SERVICE	CS	RCB	GWB / PT			
01	110	TRAINING / MEETING	TRAINING	RES	RCB	GWB / PT			
01	110A	STOR	SERVICE	CS	RCB	GWB / PT			
01	111	RADIO RM	OPEN OFFICE	CS	RCB	GWB / PT			
01	112	IT	SERVICE	CS	RCB	GWB / PT			
01	113	MECH-UT.	SERVICE	CS	RCB	GWB / FRP			
01	114	UNIVERSAL WC	WASHROOM	CS	RCB	GWB / PT			
01	115	WC	WASHROOM	CS	RCB	GWB / PT			
01	116	GEAR ROOM	APP SUPPORT	CS	RCB	GWB / PT			
01	117	APPARATUS BAYS	APPARATUS BAYS	CS	CS	GWB / PWDV			
01	118	WC	WASHROOM	CS	RCB	GWB / PT			
01	119	LAUNDRY	APP SUPPORT	CS	RCB	GWB / PT			
01	120	DECON.	APP SUPPORT	CS	RCB	GWB / FRP			
01	121	SCBA-1	APP SUPPORT	CS	RCB	GWB / PT			
01	122	WORKSHOP	APP SUPPORT	CS	RCB	GWB / PT			

## DOOR SCHEDULE

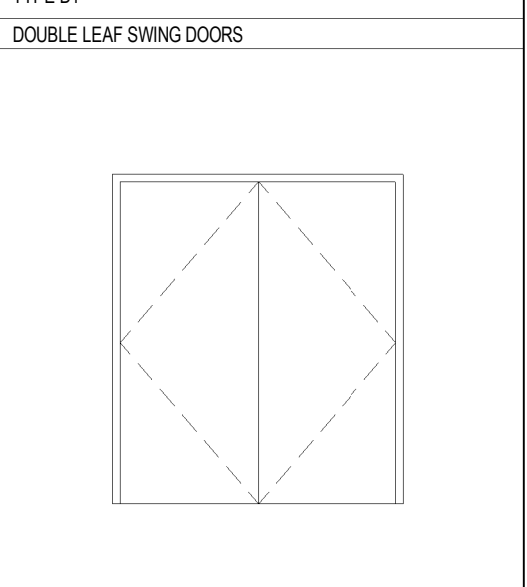
DOOR SCHEDULE																
NUMBER	ROOM / FUNCTION	TYPE	WIDTH	HEIGHT	DOOR				FRAME			FIRE RATING	EXT / INT	HARDWARE FUNCTION	REMARKS	
					THICK	MATL	FINISH	GLASS	MATL	FINISH	CASING					
01																
D100	MAIN ENTRANCE	D3	1830	2135	45	AL	ANOD	TG	AL	ANOD	-	-	EXT		THERMALLY BROKEN STOREFRONT	
D101	ENTRY VEST.	S3	915	2135	45	AL	ANOD	TG	AL	ANOD	-	-	INT		STOREFRONT	
D105	OFFICE	S2	915	2135	45	SCW	WV	WG	PS	PT	-	45 MIN	INT	CLASSROOM		
D106	STUDY / EXAM	S2	915	2135	45	SCW	WV	WG	PS	PT	-	45 MIN	INT			
D107A	STAIR 1	S2	915	2135	45	SCW	WV	WG	PS	PT	-	45 MIN	INT	PASSAGE		
D107B	STAIR 1 - EXT	S1	915	2135	45	HMI	PT	-	PSI	PT	-	-	EXT		PAINTED RED OUTSIDE	
D108	MEETING	S2	915	2135	45	SCW	WV	WG	PS	PT	-	45 MIN	INT	CLASSROOM		
D109	ELECTRICAL ROOM	S1	915	2135	45	HMI	PT	-	PSI	PT	-	-	EXT		PAINTED RED OUTSIDE	
D110	TRAINING / MEETING	D2	1830	2135	45	SCW	WV	CLG	AL	ANOD	-	-	INT	CLASSROOM	VISION LIGHT	
D110A	STORAGE	S1	915	2135	45	SCW	WV	-	AL	ANOD	-	45 MIN	INT	CLASSROOM		
D110B	TRAINING / MEETING	S1	915	2135	45	HMI	PT	-	PSI	PT	-	-	EXT		PAINTED RED OUTSIDE	
D112	IT	S1	915	2135	45	SCW	WV	-	AL	ANOD	-	-	INT	CLASSROOM		
D113	MECHANICAL / UTILITY	S1	915	2135	45	SCW	WV	-	AL	ANOD	-	-	INT	CLASSROOM		
D114	W.C.	S1	915	2135	45	SCW	WV	-	AL	ANOD	-	-	INT	PRIVACY		
D115	W.C.	S1	915	2135	45	SCW	WV	-	AL	ANOD	-	-	INT	PRIVACY		
D116A	GEAR ROOM	S2	915	2135	45	SCW	WV	-	AL	ANOD	-	-	INT	PASSAGE		
D116B	GEAR ROOM / EXT.	S1	915	2135	45	HMI	PT	-	PSI	PT	-	-	EXT		PAINTED RED OUTSIDE	
D116C	GEAR ROOM / APPARATUS BAY	S1	915	2135	45	HMI	PT	-	PS	PT	-	1.5 HR	INT	CLASSROOM	PAINTED RED OR GREY ON APPARATUS BY SIDE	
D117A	APP. BAY / CORR.	S1	915	2135	45	HMI	PT	-	PS	PT	-	1.5 HR	INT		PAINTED RED OR GREY ON APPARATUS BY SIDE	
D117B	APP. BAY / CORR.	S1	915	2135	45	HMI	PT	-	PS	PT	-	1.5 HR	INT		PAINTED RED OR GREY ON APPARATUS BY SIDE	
D117C	APPARATUS BAY	S1	915	2135	45	HMI	PT	-	PSI	PT	-	-	EXT		PAINTED RED OUTSIDE	
D117D	APPARATUS BAY	S1	915	2135	45	HMI	PT	-	PSI	PT	-	-	EXT		PAINTED RED OUTSIDE	
D117E	APPARATUS BAY	S1	915	2135	45	HMI	PT	-	PSI	PT	-	-	EXT		PAINTED RED OUTSIDE	
D118	WC	S1	915	2135	45	HMI	PT	-	PS	PT	-	-	INT	PRIVACY	PAINTED RED OR GREY ON APPARATUS BAY SIDE, STAINLESS STEEL KICKPLATE	
D119	LAUNDRY	S1	915	2135	45	HMI	PT	-	PS	PT	-	-	INT	CLASSROOM	PAINTED RED OR GREY ON APPARATUS BAY SIDE, STAINLESS STEEL KICKPLATE	
D120	DECON	S1	915	2135	45	HMI	PT	-	PS	PT	-	-	INT	CLASSROOM	PAINTED RED OR GREY ON APPARATUS BAY SIDE, STAINLESS STEEL KICKPLATE	
D121	SCBA-1	S1	915	2135	45	HMI	PT	-	PS	PT	-	-	INT	CLASSROOM	PAINTED RED OR GREY ON APPARATUS BAY SIDE, STAINLESS STEEL KICKPLATE	
D-OH1	OVERHEAD	OH1	4300	4300	51	HMI	PT	CLG	PSI	PT	-	-	EXT		1 ROW OF VISION LIGHT	
D-OH2	OVERHEAD	OH1	4300	4300	51	HMI	PT	CLG	PSI	PT	-	-	EXT		1 ROW OF VISION LIGHT	
D-OH3	OVERHEAD	OH1	4300	4300	51	HMI	PT	CLG	PSI	PT	-	-	EXT		1 ROW OF VISION LIGHT	
D-OH4	OVERHEAD	OH1	4300	4300	51	HMI	PT	CLG	PSI	PT	-	-	EXT		1 ROW OF VISION LIGHT	
02																
D122	STORAGE	S1	915	2135	45	SCW	WV	-	AL	ANOD	-	-	INT	CLASSROOM		
D208B	STORAGE	S1	915	2135	45	SCW	WV	-	AL	ANOD	-	-	INT	CLASSROOM		
D200D	DAYROOM PATIO	D3	1830	2135	45	AL	ANOD	TG	AL	ANOD	-	-	EXT		THERMALLY BROKEN STOREFRONT	
D201	WC	S1	915	2135	45	SCW	WV	-	AL	ANOD	-	-	INT	PRIVACY		
D202	WC	S1	915	2135	45	SCW	WV	-	AL	ANOD	-	-	INT	PRIVACY		
D203	FITNESS AREA	S2	915	2135	45	SCW	WV	-	AL	ANOD	-	-	INT	PASSAGE		
D203A	LAUNDRY	D1	1220	2135	45	SCW	WV	-	AL	ANOD	-	-	INT	PASSAGE	GATE W. HASP FOR PADLOCK OR LATCH	
D204	STORAGE LOFT	S1	915	2135	45	HMI	PT	-	PS	PT	-	1.5 HR	INT	CLASSROOM		
D204A	GATE	D4	1830	1100	45	ST	PT	-	PS	PT	-	-	INT	PASSAGE		
D205	SCBA-2	S1	915	2135	45	HMI	PT	-	PS	PT	-	-	INT	CLASSROOM		
D206	DORMS	S2	915	2135	45	SCW	WV	-	AL	ANOD	-	45 MIN	INT	CLASSROOM		
D206A	DORM-1	S1	760	2135	45	SCW	WV	-	AL	ANOD	-	-	INT	PRIVACY		
D206B	DORM-2	S1	760	2135	45	SCW	WV	-	AL	ANOD	-	-	INT	PRIVACY		
D206C	DORM-3	S1	760	2135	45	SCW	WV	-	AL	ANOD	-	-	INT	PRIVACY		
D206D	DORM-4	S1	760	2135	45	SCW	WV	-	AL	ANOD	-	-	INT	PRIVACY		
D207	STAIR 1	S2	915	2135	45	SCW	WV	WG	PS	PT	-	45 MIN	INT	PASSAGE		
D208	EXT. / DAYROOM	S1	915	2135	45	HMI	PT	-	PSI	PT	-	-	EXT		PAINTED RED OUTSIDE	

## DOOR TYPES

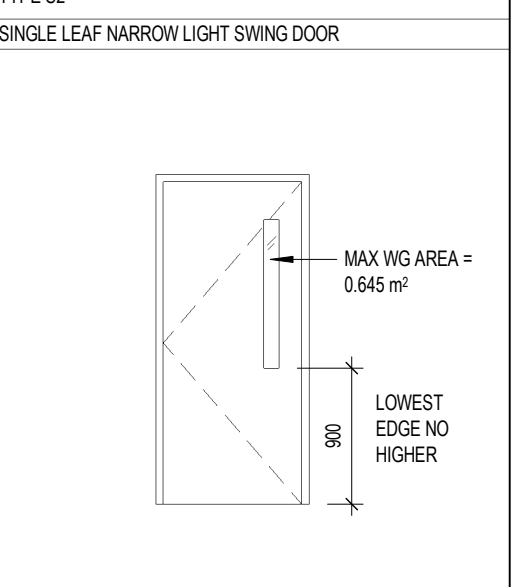
TYPE S1  
SINGLE LEAF SWING DOOR



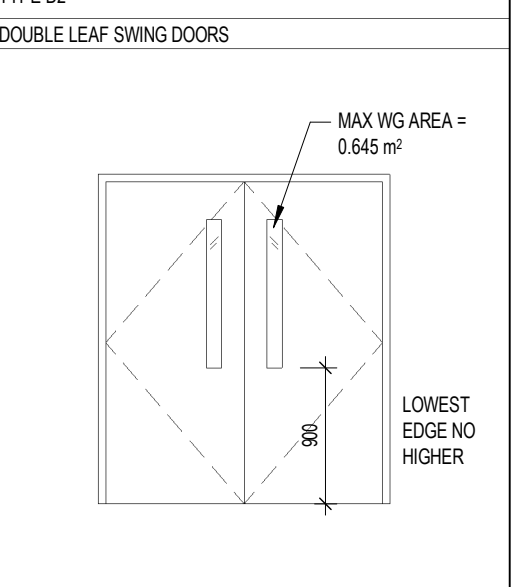
TYPE D1  
DOUBLE LEAF SWING DOORS



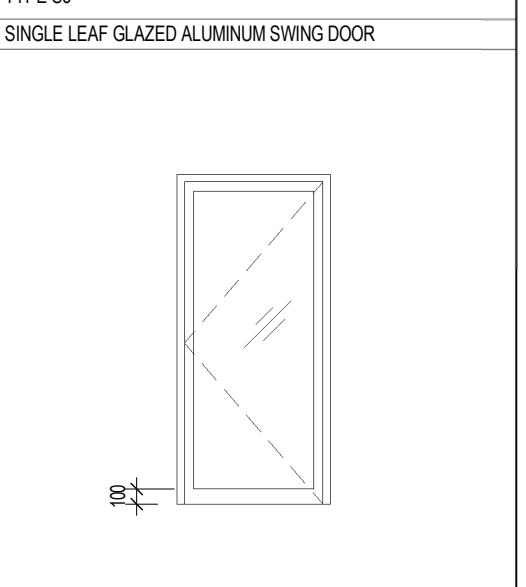
TYPE S2  
SINGLE LEAF NARROW / LIGHT SWING DOOR



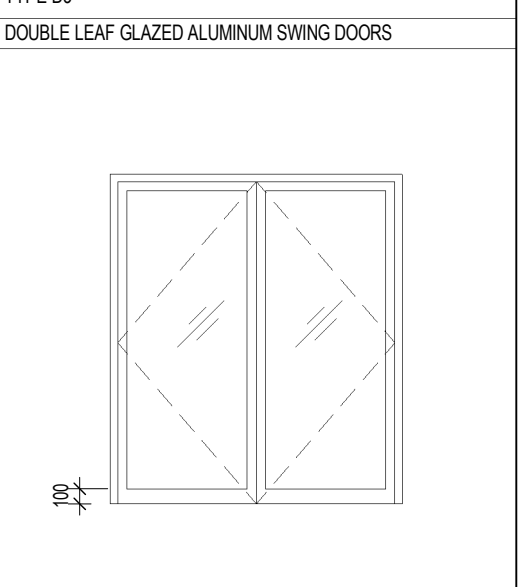
TYPE D2  
DOUBLE LEAF SWING DOORS



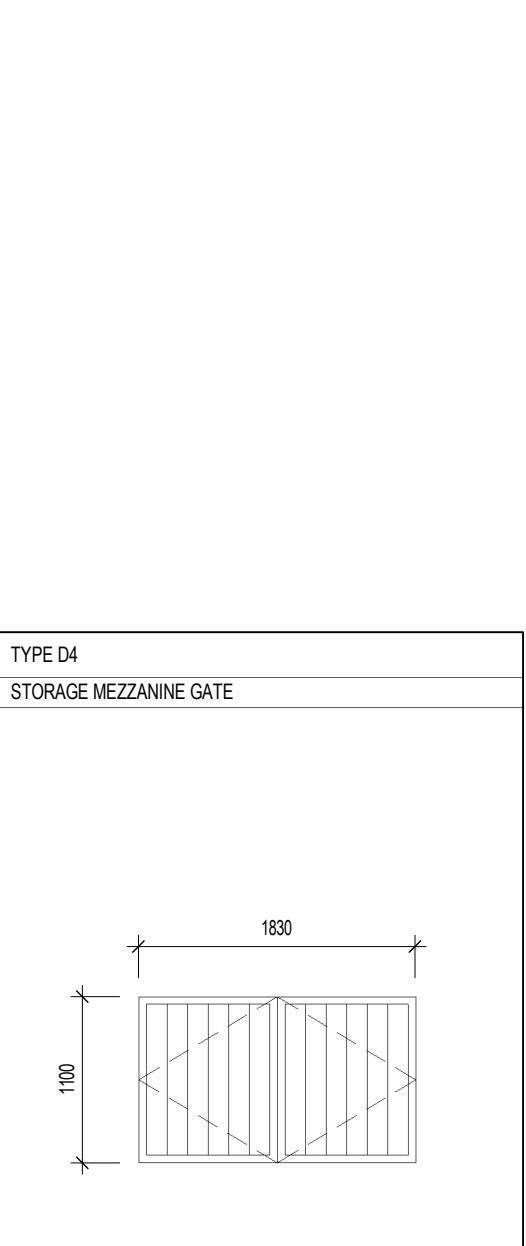
TYPE S3  
SINGLE LEAF GLAZED ALUMINUM SWING DOOR



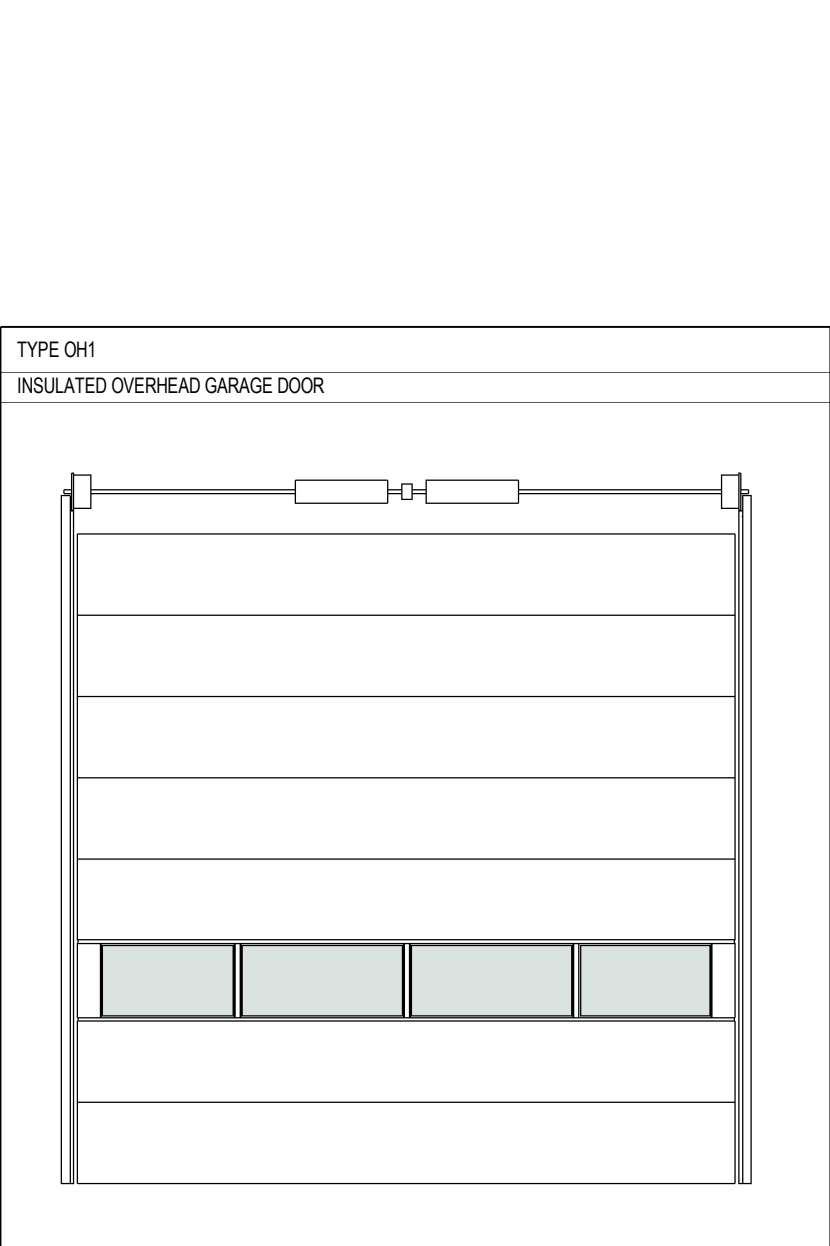
TYPE D3  
DOUBLE LEAF GLAZED ALUMINUM SWING DOORS



TYPE D4  
STORAGE MEZZANINE GATE



TYPE OH1  
INSULATED OVERHEAD GARAGE DOOR



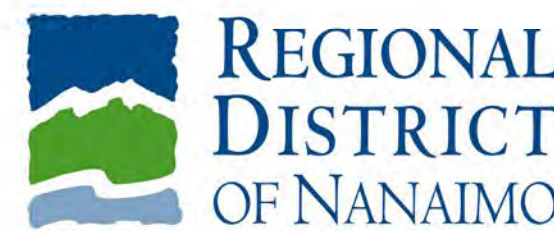
## ROOM FINISH ABBREVIATIONS

CT	CARPET TILE
CS	CONCRETE SEALED
PT	PAINT
PTW	PAINTED WOOD
RCB	RUBBER COVE BASE
RES	RESILIENT
TILE	TILE
TBD	TO BE DETERMINED
LVP	LUXURY VINYL PLANK
FRP	FIBERGLASS REINFORCED PANEL
BPG	BACK-PAINTED GLASS
RAF	RESILIENT ATHLETIC FLOORING
PWDV	PLYWOOD W. WHITE MAPLE VENEER

## ROOM FINISH NOTES

**HOUSEKEEPING PADS:** INTERIOR CONCRETE 100 mm THICK AT COMPRESSOR, FILL STATION AND GEAR TURNOUT WASHER (SIZES TO SUIT)

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NO.	DATE	DESCRIPTION
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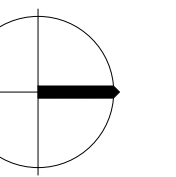
SEAL

Heather Spinney, Architect, AIBC  
Robert Rocheleau, Architect, AIBC





REGIONAL  
DISTRICT  
OF NANAIMO

[illegible]

5	2022-07-22	ISSUED FOR TENDER
4	2022-05-20	ISSUED FOR CLASS A COSTING
3	2022-03-04	ISSUED FOR BUILDING PERMIT
2	2021-09-27	ISSUED FOR 100% DD
1	2021-08-25	ISSUED FOR 60% DD

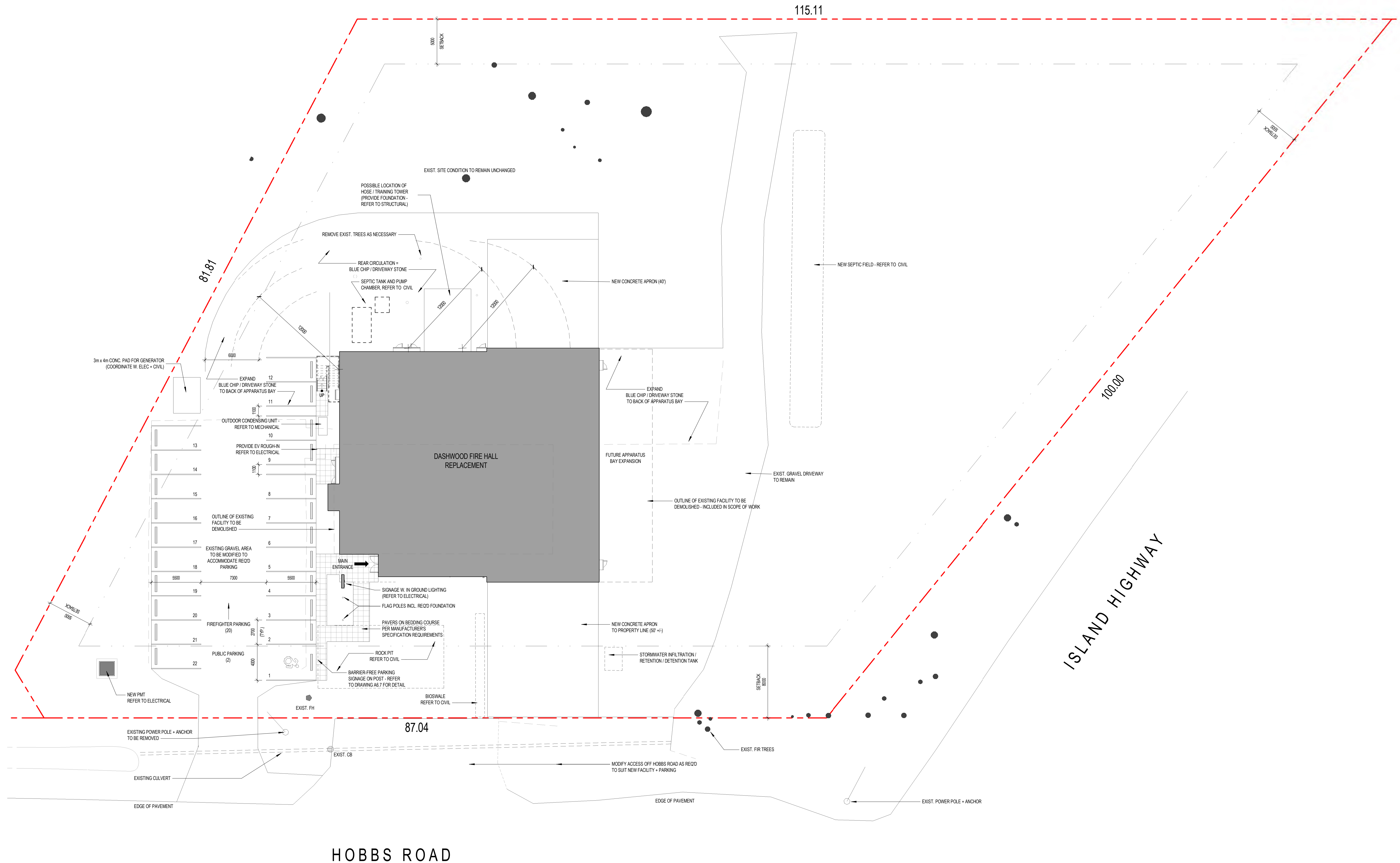
NO.	DATE	DESCRIPTION
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# DASHWOOD FIRE HALL REPLACEMENT

## SITE PLAN

DATE	2022-01-14	SHEET NO.  <b>A1.0</b>
PROJECT NO.	20-007	
SCALE	1 : 200	
DRAWN BY	HS	



1 SITE PLAN  
A1.0 1 : 200



PLAN KEYNOTES

- 101 FIRE DEPARTMENT CONNECTION, SEE MECHANICAL  
102 FIRE ALARM ANNUNCIATOR PANEL  
103 SPRINKLER TREE, SEE MECHANICAL  
104 MECHANICAL UNIT, COORDINATE WITH MECHANICAL  
111 PUSH BUTTON, ACCESSIBLE AUTOMATIC DOOR OPERATOR, SEE ELECTRICAL

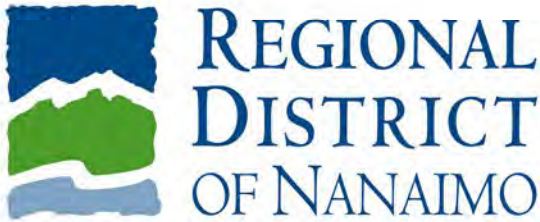
EQUIPMENT KEYNOTES

- 01 OXYGEN STORAGE TANKS (MILLWORK)  
03 STAINLESS STEEL COUNTER + SINK  
05 WORKSHOP  
07 TURNOUT GEAR WASHER  
10 RED / GREEN LIGHTS FOR OH DOORS  
11 I AM RESPONDING TV WITH ITS OWN COMPUTER AND REMOTE MONITORS CONNECTED BY WIFI  
12 HOSEBIBS FOR TRUCK FILL AND WASH  
14 HOSEBIB  
15 CORD REEL - 4 DROPS IN APPARATUS BAY (DRIVER SIDE OF VEHICLE)  
16 COMPRESSED AIR - 4 DROPS IN APPARATUS BAY, 1 IN WORKSHOP, 1 IN SCBA  
17 OVERHEAD DOOR PUSH BUTTONS X 4 ON WALL  
19 COMPUTER AIDED DISPATCH - LOCATED IN RADIO ROOM CONNECTED BY HDMI TO MONITORS IN TRAINING ROOM, GEAR ROOM, OFFICE AREA (MAIN) AND DAY ROOM  
22 KILL SWITCH  
23 GATE ON STORAGE 204 + CRANE (NIC)  
24 COMPRESSOR (NIC)

NOTES

1. PRE-ENGINEERED STEEL BUILDING PACKAGE INCLUDES: EXTERIOR BUILDING ENVELOPE, CLADDING, EXTERIOR WINDOWS AND DOORS, LEVEL 2 FLOOR AND STAIRS.  
2. GENERAL CONTRACT INCLUDES: ALL INTERIOR AND SECOND FLOOR FRAMING, FINISHING, INTERIOR DOORS, AND MILLWORK (APPLIANCES N/C)  
3. IAA-TV = I AM RESPONDING TV WITH ITS OWN COMPUTER AND REMOTE MONITORS CONNECTED BY WIFI  
4. TV = FOR ENTERTAINMENT  
5. CAD = COMPUTER AIDED DISPATCH - LOCATED IN RADIO ROOM CONNECTED BY HDMI TO MONITORS IN TRAINING ROOM GEAR ROOM, OFFICE AREA (MAIN) AND DAYROOM  
6. MEMBERS OPERATE W. PAGER  
7. OH DOORS TO BE OPERATED W. WALL-MOUNTED DOOR OPENERS + OPTION FOR MANUAL OPERATION  
8. KS = KILL SWITCH IN DAYROOM  
9. CALL-OUT = BASE STATION RADIO THAT WILL NEED TO BE DISTRIBUTED THROUGHOUT THE BUILDING  
10. CA = COMPRESSED AIR - 4 DROPS IN APPARATUS BAY, 1 IN WORKSHOP, 1 IN SCBA-1 (SHOP AIR TO COME FROM SCBA COMPRESSOR OR NEDERMAN)  
11. CR = CORD REEL - 4 DROPS IN APPARATUS BAY

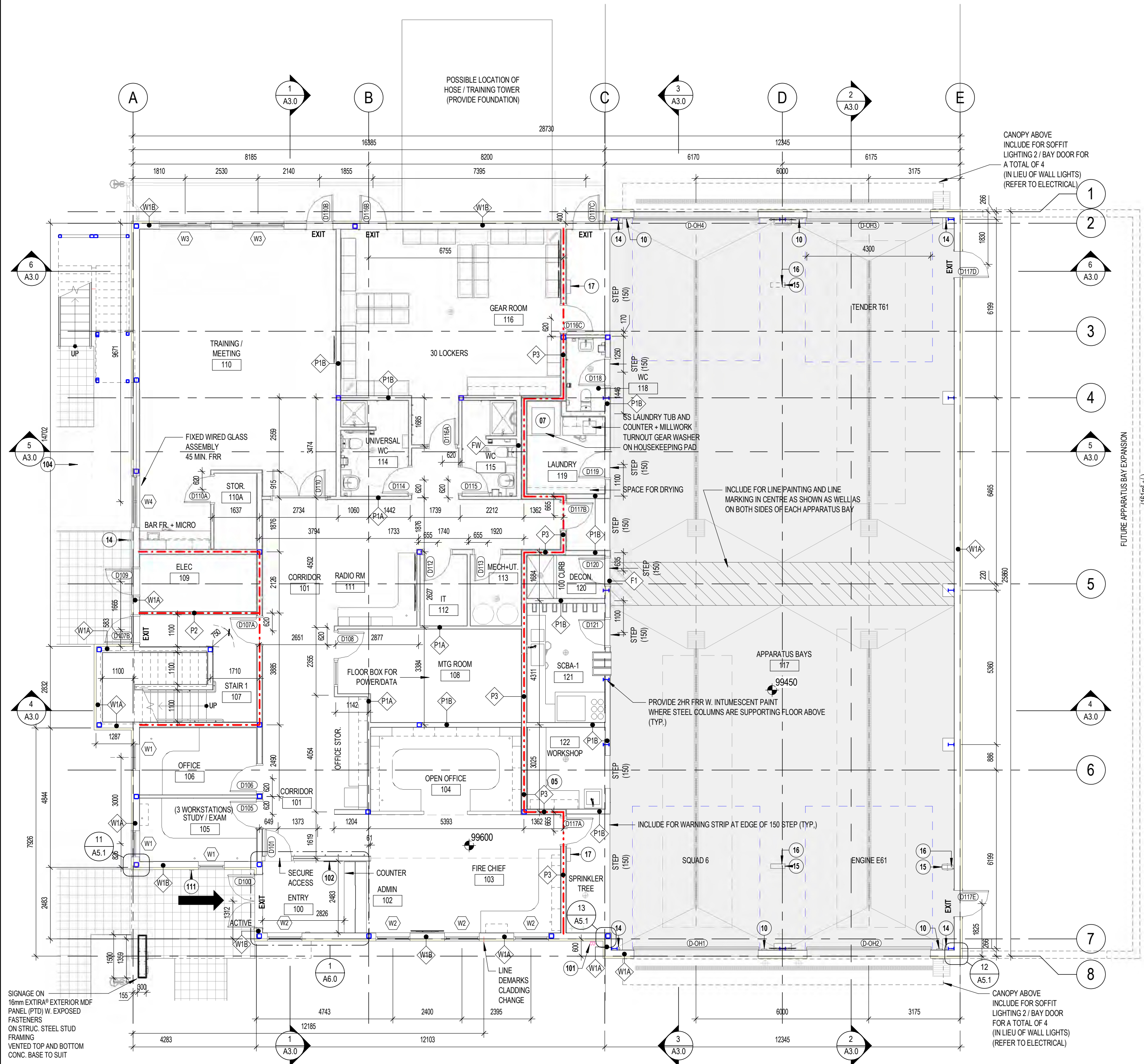
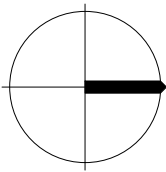
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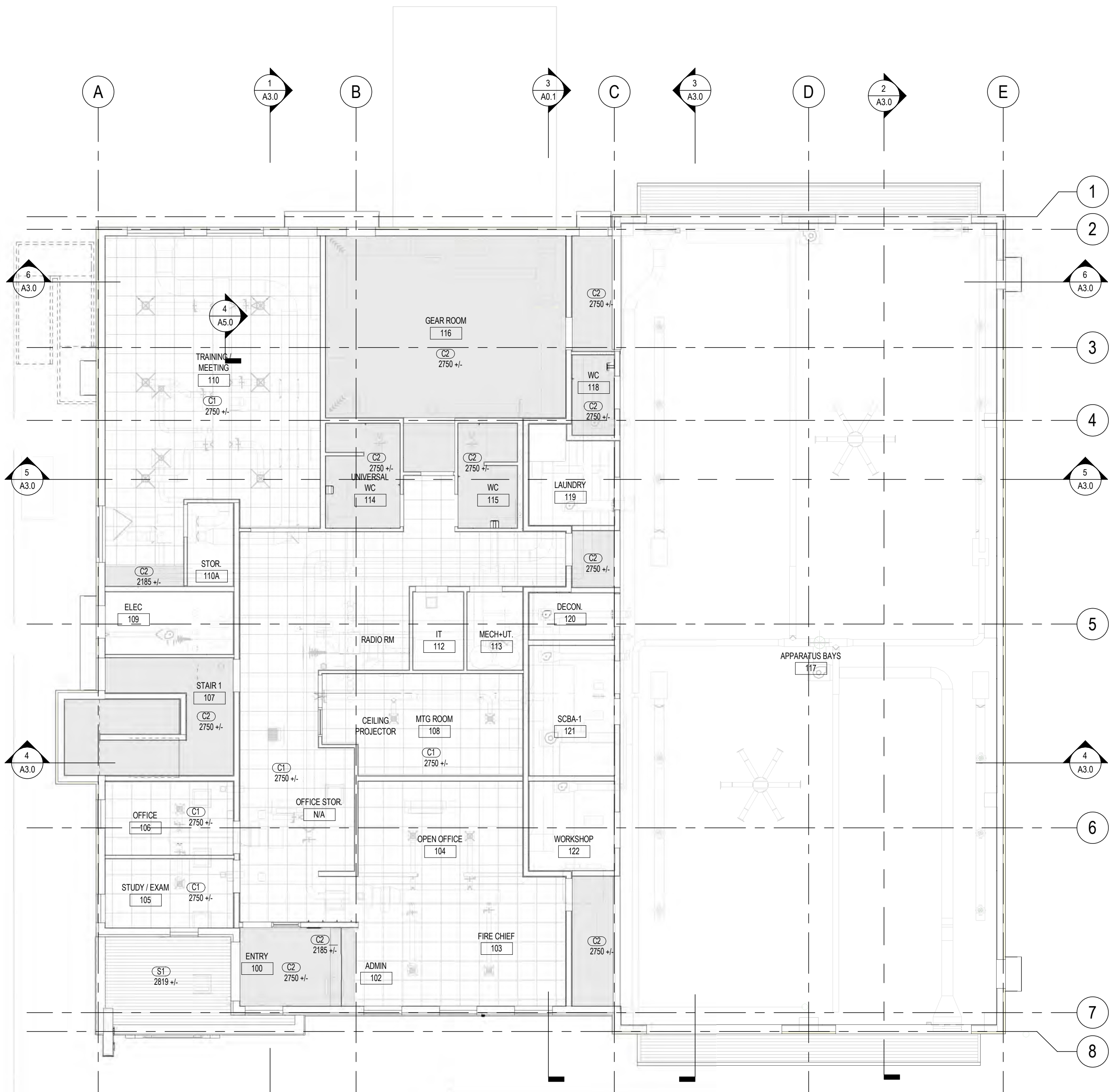
FIRE SEPARATION LEGEND	
LINE PATTERN	HOURS
	0.75
	1
	1.5
	2

"\* NOTE \*\*

ALL PENETRATIONS TO BE FIRESTOPPED W. APPROVED ULC SYSTEMS BY HILTI, 3M OR EQUIVALENT



1  
A1.1  
LEVEL 01 FLOOR PLAN  
1 : 100



2  
A1.1  
LEVEL 01 REFLECTED CEILING PLAN  
1 : 100

CEILING AND SOFFIT ASSEMBLIES LEGEND

- EXPOSED - US FIRE RATED FLOOR ASSEMBLY ABOVE  
CEILING FINISH PER RATED ASSEMBLY  
- PENETRATIONS RESTRICTED W. FIRESTOPPING  
- SURFACE MOUNT FIXTURES / DUCTS  
 ACUSTIC CEILING TILE  
600 X 600 mm ACUSTIC TILE CEILING PANEL ON SUSPENDED T-BAR CEILING JOIST  
 SUSPENDED GYPSUM BOARD CEILING  
16 mm SAG RESISTANT GYPSUM BOARD, PAINTED, ON 92 mm SUSPENDED C-STUD JOIST @ 600 mm O.C. BOTHWAYS  
 PREFINISHED METAL (VENTED) SOFFIT  
PREFINISHED PERFORATED METAL SOFFIT (CENTEK COLOUR 1) WOOD DECK JOIST OR SUSPENDED SOFFIT JOIST TO SUIT  
 -

5	2022-07-22	ISSUED FOR TENDER
4	2022-05-20	ISSUED FOR CLASS A COSTING
3	2022-03-04	ISSUED FOR BUILDING PERMIT
2	2021-09-27	ISSUED FOR 100% DD
1	2021-08-25	ISSUED FOR 60% DD

NO. DATE DESCRIPTION

SEAL



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PROJECT TITLE

DASHWOOD FIRE HALL  
REPLACEMENT

230 HOBBS ROAD  
QUALICUM BEACH BC

SHEET TITLE

LEVEL 01 FLOOR PLAN + RCP

DATE	2022-01-14	SHEET NO. <b>A1.1</b>
PROJECT NO.	20-007	
SCALE	As Indicated	
DRAWN BY	KD	



PLAN KEYNOTES

- 101 FIRE DEPARTMENT CONNECTION, SEE MECHANICAL  
102 FIRE ALARM ANNUNCIATOR PANEL  
103 SPRINKLER TREE, SEE MECHANICAL  
104 MECHANICAL UNIT, COORDINATE WITH MECHANICAL  
111 PUSH BUTTON, ACCESSIBLE AUTOMATIC DOOR OPERATOR, SEE ELECTRICAL

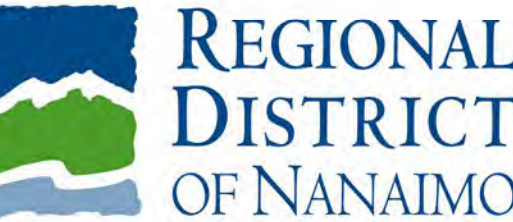
EQUIPMENT KEYNOTES

- 01 OXYGEN STORAGE TANKS (MILLWORK)  
02 STAINLESS STEEL COUNTER + SINK  
05 WORKSHOP  
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10 RED / GREEN LIGHTS FOR OH DOORS  
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22 KILL SWITCH  
23 GATE ON STORAGE 204 + CRANE (NIC)  
24 COMPRESSOR (NIC)

NOTES

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11. CR = CORD REEL - 4 DROPS IN APPARATUS BAY

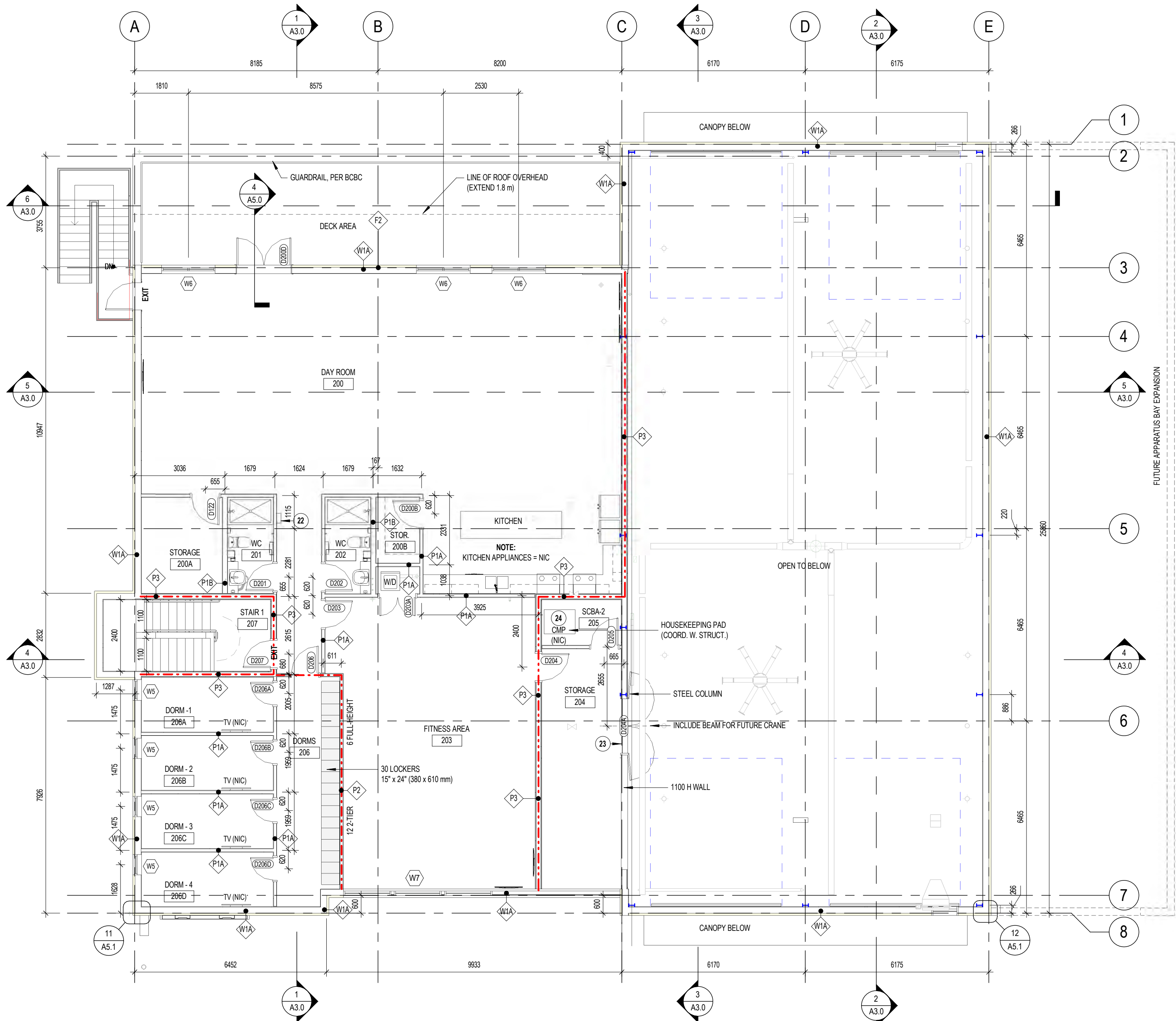
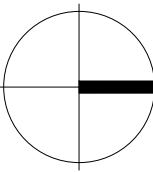
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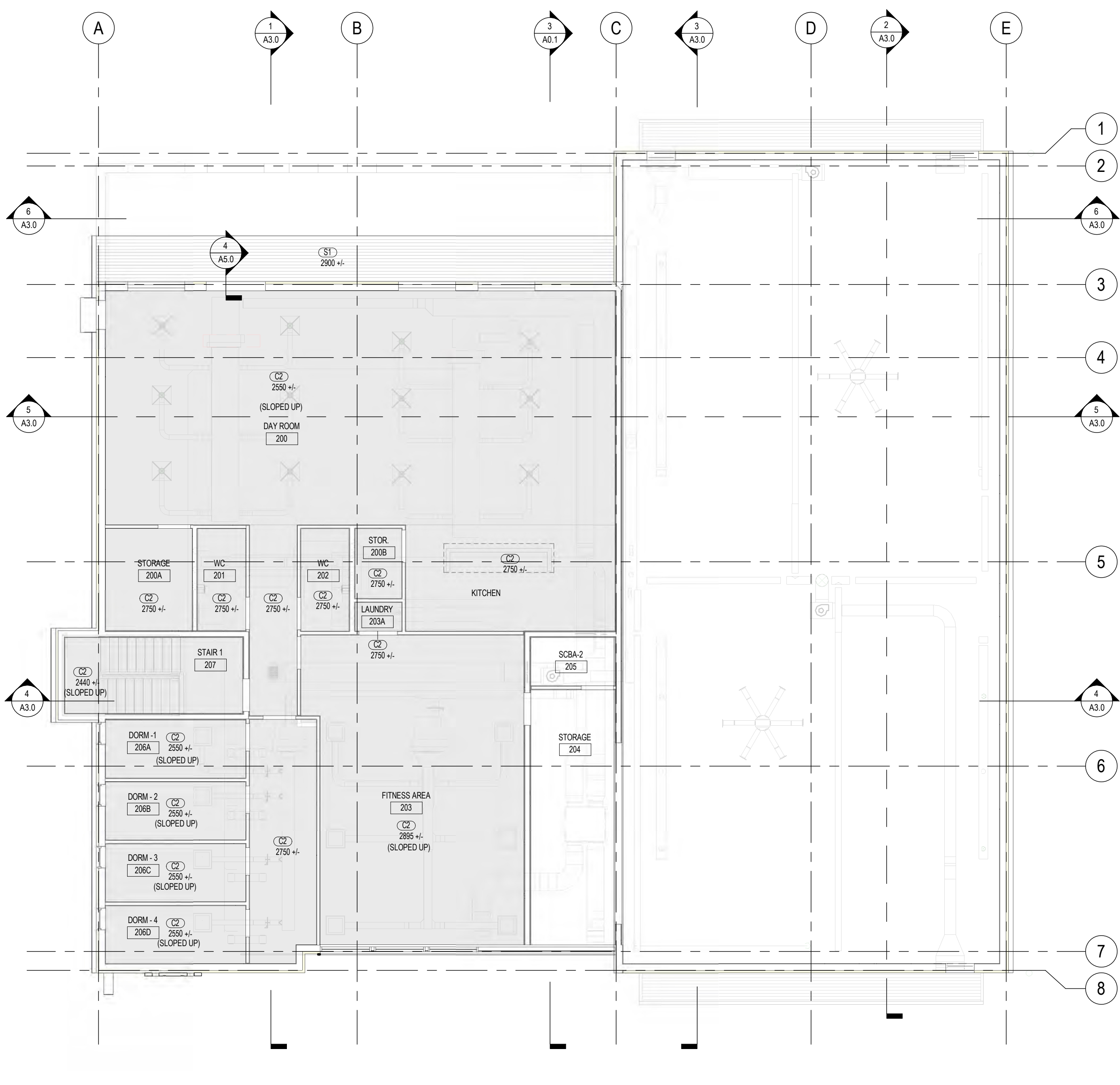
FIRE SEPARATION LEGEND	
LINE PATTERN	HOURS
	0.75
	1
	1.5
	2

\*\* NOTE \*\*

ALL PENETRATIONS TO BE FIRESTOPPED W/ APPROVED UL/C SYSTEMS BY HILTI, 3M OR EQUIVALENT



1 LEVEL 02 FLOOR PLAN  
1 : 100



2 LEVEL 02 REFLECTED CEILING PLAN  
1 : 100

5	2022-07-22	ISSUED FOR TENDER
4	2022-05-20	ISSUED FOR CLASS A COSTING
3	2022-03-04	ISSUED FOR BUILDING PERMIT
2	2021-09-27	ISSUED FOR 100% DD
1	2021-08-25	ISSUED FOR 60% DD

NO.	DATE	DESCRIPTION
-----	------	-------------

SEAL



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PROJECT TITLE  
DASHWOOD FIRE HALL  
REPLACEMENT

230 HOBBS ROAD  
QUALICUM BEACH BC

SHEET TITLE

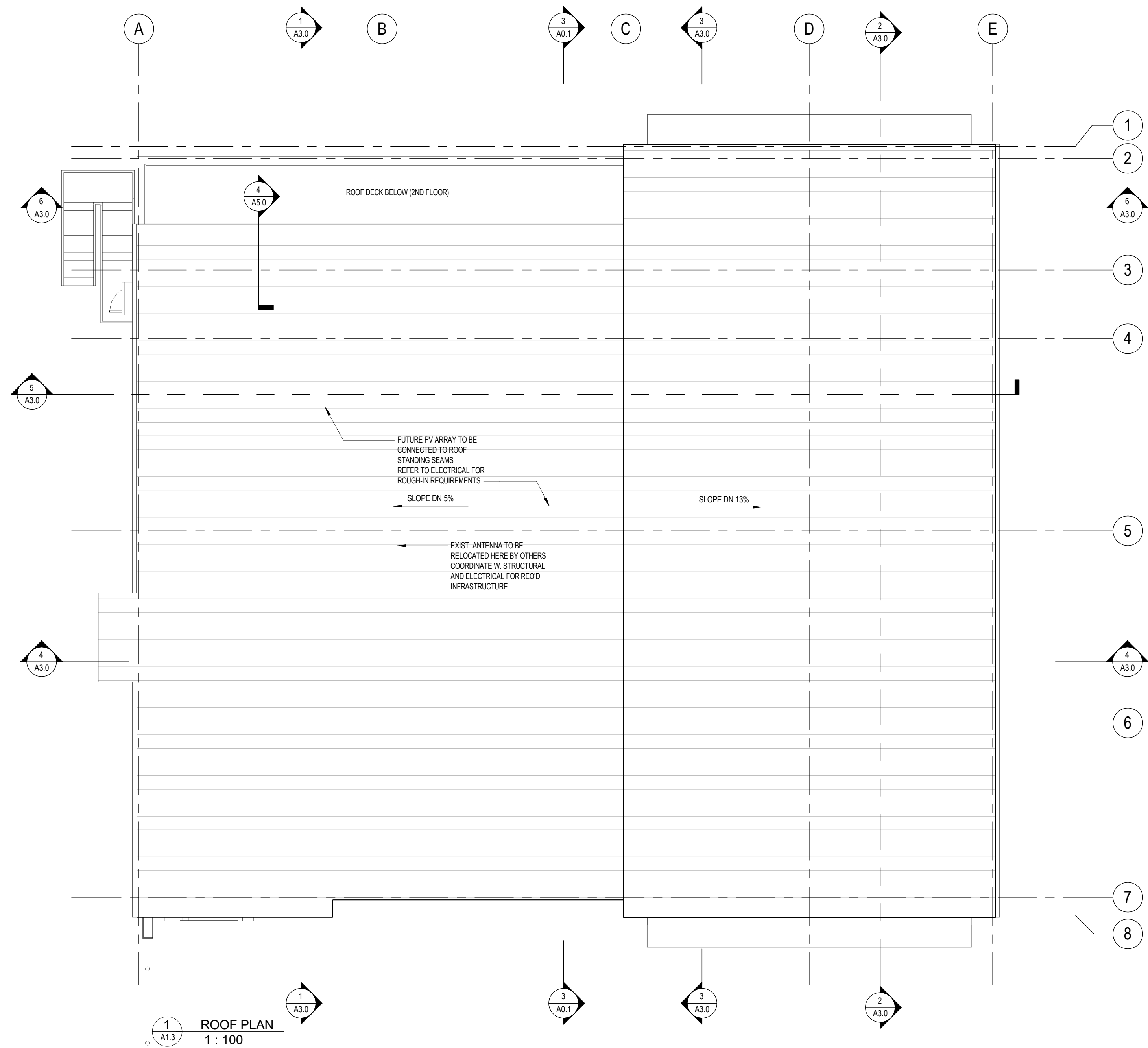
LEVEL 02 FLOOR PLAN + RCP

DATE	2022-01-14	SHEET NO. <b>A1.2</b>
PROJECT NO.	20-007	
SCALE	As Indicated	
DRAWN BY	POS	





REGIONAL  
DISTRICT  
OF NANAIMO



5	2022-07-22	ISSUED FOR TENDER
4	2022-05-20	ISSUED FOR CLASS A COSTING
3	2022-03-04	ISSUED FOR BUILDING PERMIT
2	2021-09-27	ISSUED FOR 100% DD
1	2021-08-25	ISSUED FOR 60% DD

SEAL

PROJECT TITLE

DASHWOOD FIRE HALL  
REPLACEMENT

ROOF PLAN

DATE	2022-01-14	SHEET NO.  <b>A1.3</b>
PROJECT NO.	20-007	
SCALE	1 : 100	
DRAWN BY	HS	



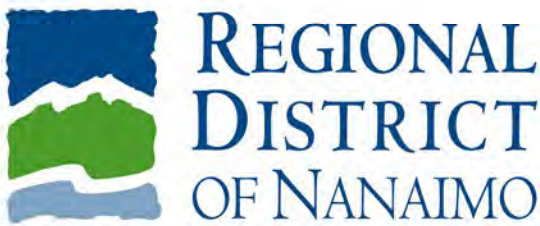
PLAN KEYNOTES

- 101 FIRE DEPARTMENT CONNECTION, SEE MECHANICAL  
102 FIRE ALARM ANNUNCIATOR PANEL  
103 SPRINKLER TREE, SEE MECHANICAL  
104 MECHANICAL UNIT, COORDINATE WITH MECHANICAL  
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EQUIPMENT KEYNOTES

- 01 OXYGEN STORAGE TANKS (MILLWORK)  
03 STAINLESS STEEL COUNTER + SINK  
05 WORKSHOP  
07 TURNOUT GEAR WASHER  
RED / GREEN LIGHTS FOR OH DOORS  
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22 KILL SWITCH  
23 GATE ON STORAGE 204 + CRANE (NIC)  
24 COMPRESSOR (NIC)

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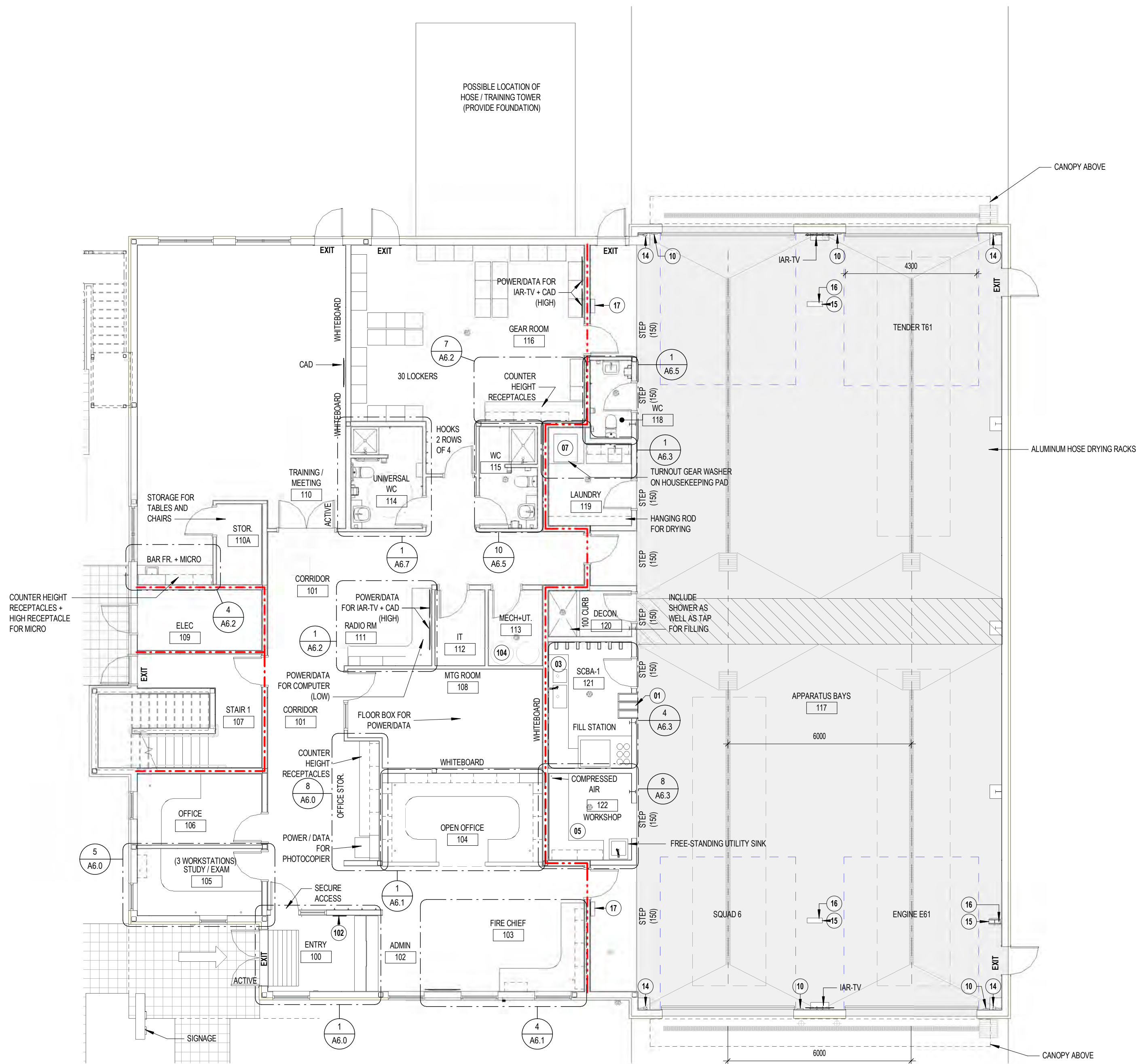
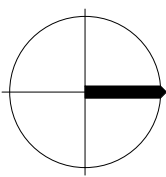


FIRE SEPARATION LEGEND

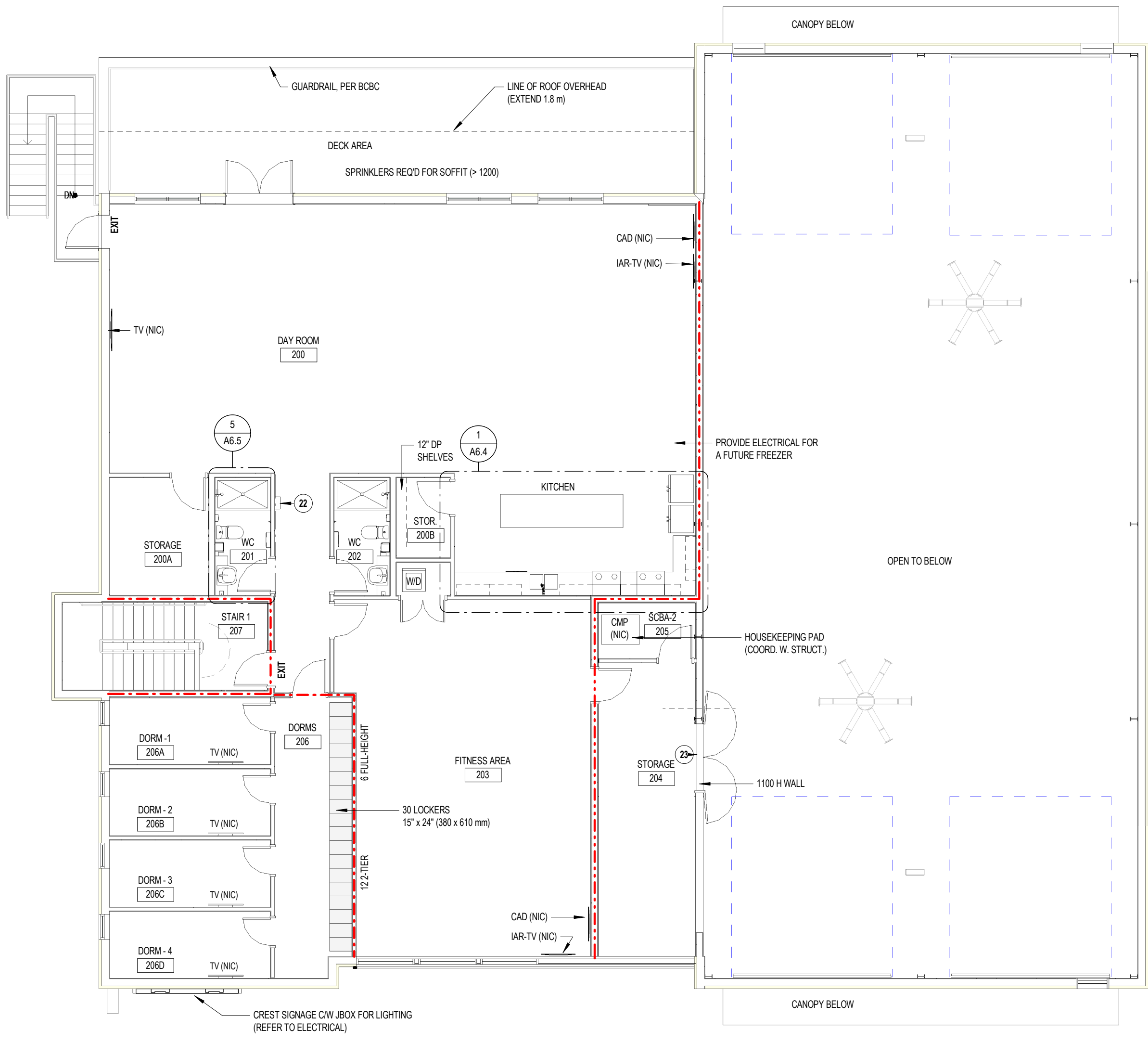
LINE PATTERN	HOURS
	0.75
	1
	1.5
	2

NOTE

ALL PENETRATIONS TO BE FIRESTOPPED W. APPROVED ULC SYSTEMS BY HILTI, 3M OR EQUIVALENT



1 LEVEL 01 FIXTURES + FINISHES  
1 : 100



2 LEVEL 02 FIXTURES + FINISHES  
1 : 100

5 2022-07-22 ISSUED FOR TENDER

NO. DATE DESCRIPTION

SEAL



Heather Spinney, Architect, AIBC  
Robert Rocheleau, Architect, AIBC

PROJECT TITLE

DASHWOOD FIRE HALL  
REPLACEMENT

230 HOBBS ROAD  
QUALICUM BEACH BC

SHEET TITLE

LEVEL 01 + 02 FIXTURES AND FINISHES

DATE	2022-01-14	SHEET NO. <b>A1.4</b>
PROJECT NO.	20-007	
SCALE	As indicated	
DRAWN BY	Author	

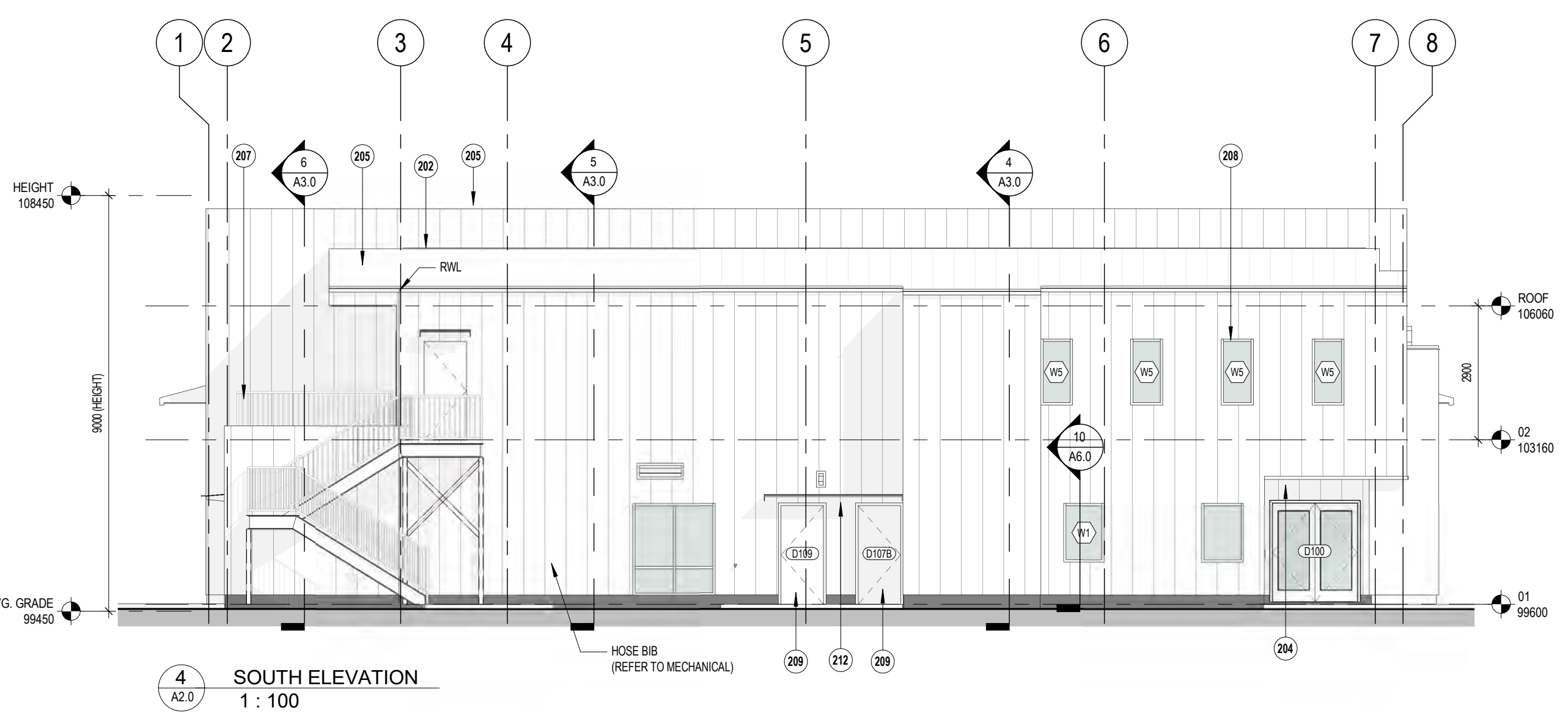
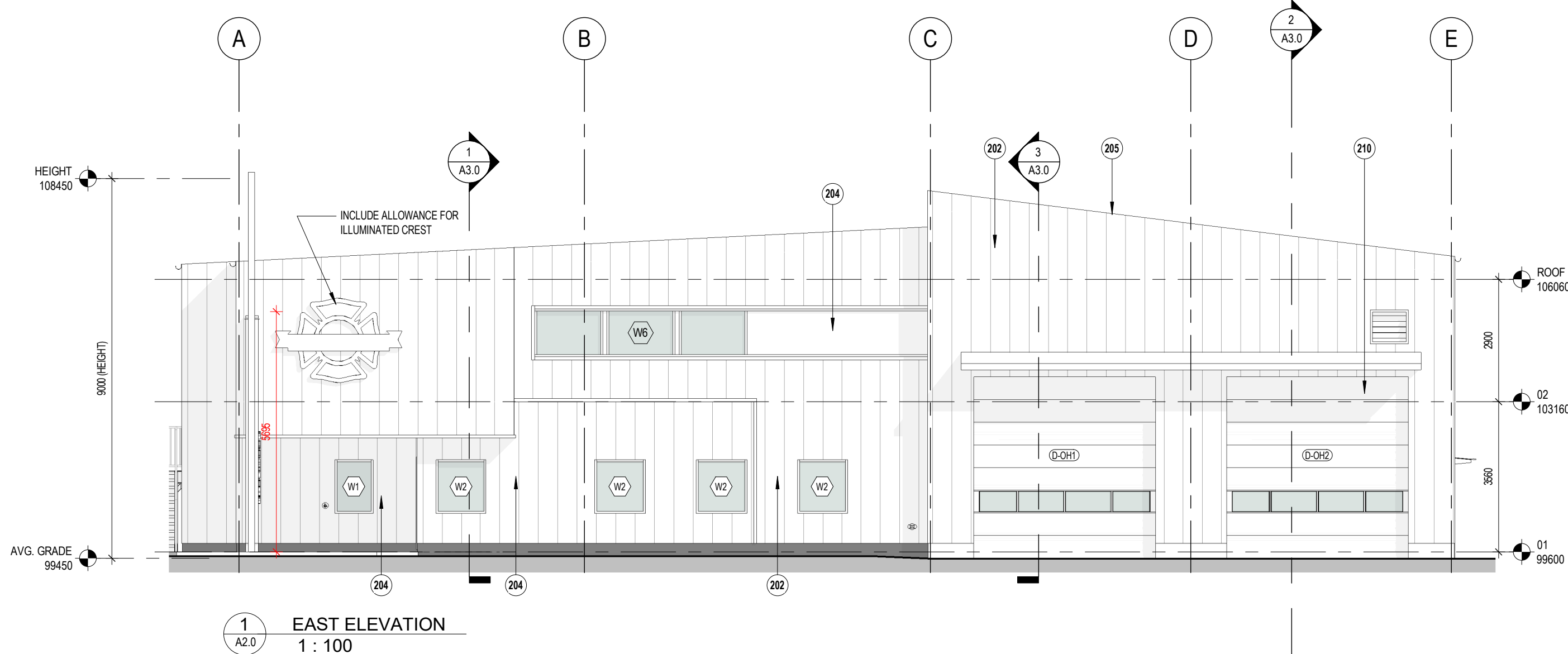
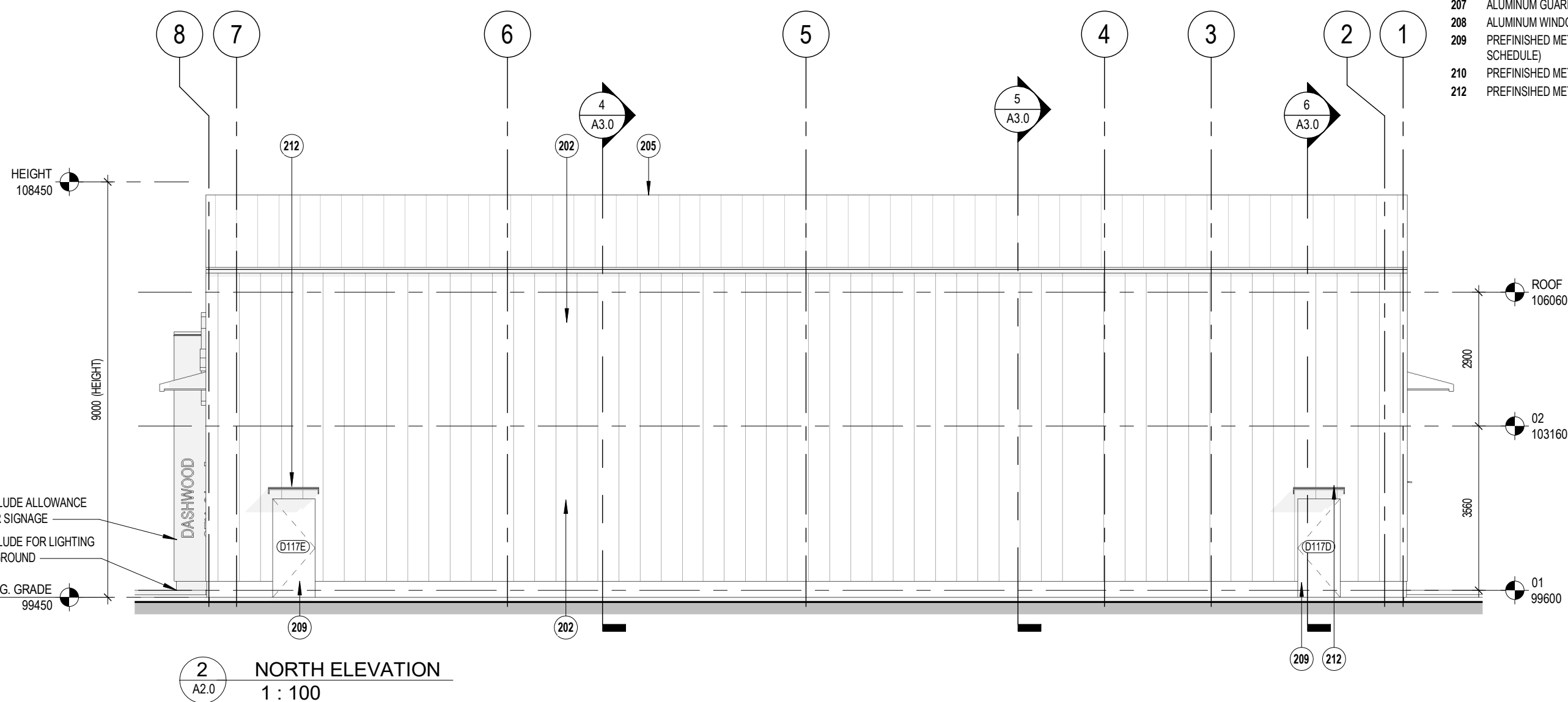
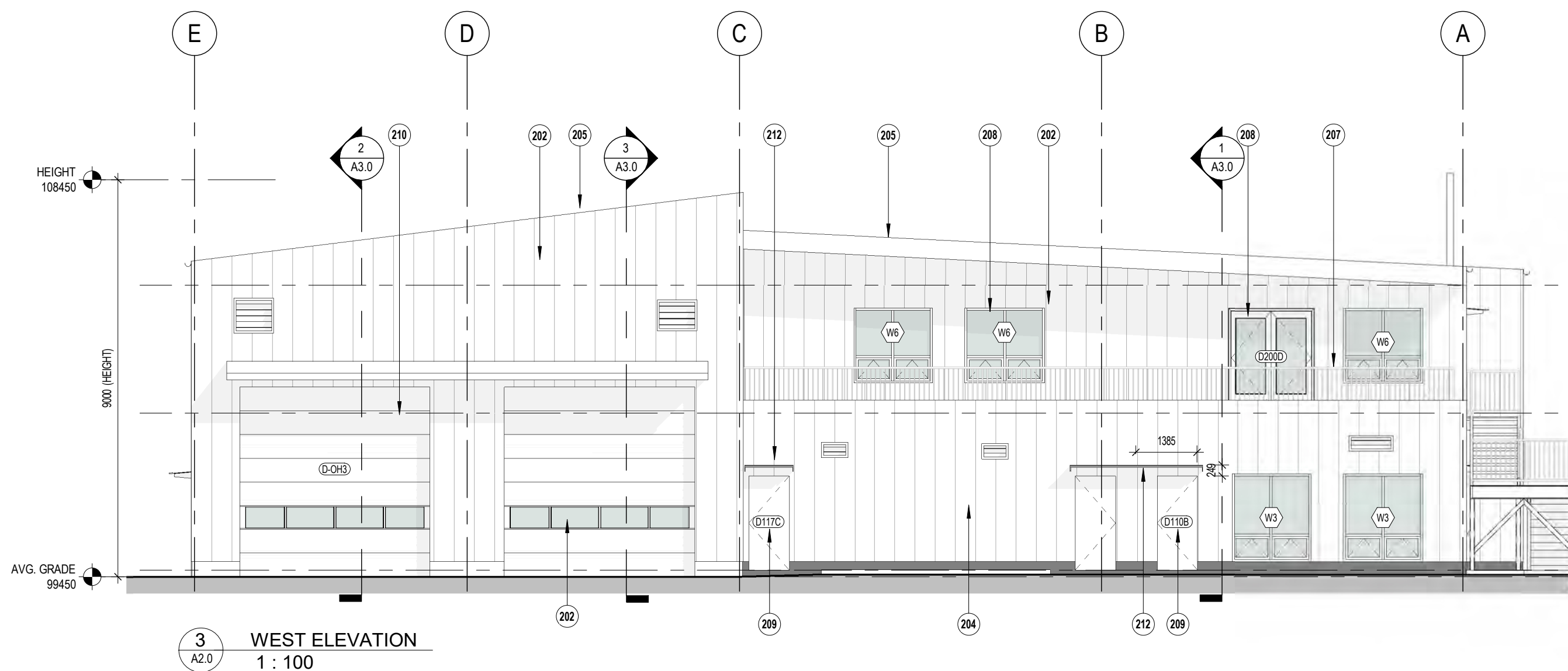


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#### ELEVATION KEYNOTES

- 202 PREFINISHED METAL CLADDING - CHARCOAL
- 204 PREFINISHED METAL ROOF - CHARCOAL
- 205 PREFINISHED METAL ROOF - RED
- 207 ALUMINUM GUARDRAIL
- 208 ALUMINUM WINDOWS + PATIO DOOR + ENTRY DOOR
- 209 PREFINISHED METAL DOORS (REFER TO DOOR SCHEDULE)
- 210 PREFINISHED METAL OVERHEAD DOOR - RED
- 212 PREFINISHED METAL CANOPY - COLOUR TBD



#### BC BUILDING CODE MATRIX

29	SPATIAL SEPARATION AND EXPOSURE PROTECTION						TABLE 3.2.3.1-0 3.2.3.7		
	BLOG FACE	EBF AREA (m²)	LIMITING DISTANCE (m)	UPO AREA (m²)	OPENINGS PERMITTED (%)	OPENINGS ACTUAL (%)			
	SOUTH	146	15	24.5	100	17%	0	NC / C	NC / C
	EAST	200	15	56	100	28%	0	NC / C	NC / C
	NORTH	146	28	4.5	100	3%	0	NC / C	NC / C
	WEST	200	36	64	100	32%	0	NC / C	NC / C

NO.	DATE	DESCRIPTION
5	2022-07-22	ISSUED FOR TENDER
4	2022-05-20	ISSUED FOR CLASS A COSTING
3	2022-03-04	ISSUED FOR BUILDING PERMIT
2	2021-09-27	ISSUED FOR 100% DD
1	2021-08-25	ISSUED FOR 60% DD

SEAL



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250 475 2702 studipraxis.ca

#### PROJECT TITLE

### DASHWOOD FIRE HALL REPLACEMENT

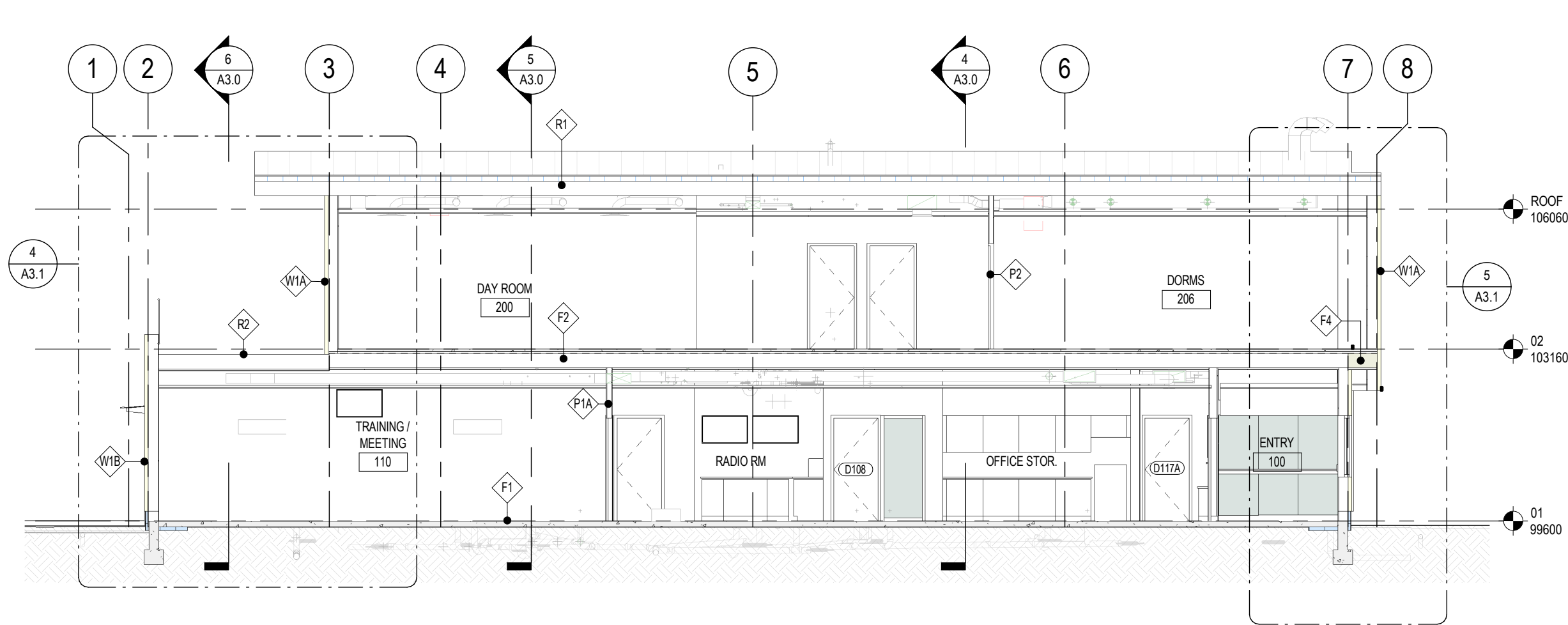
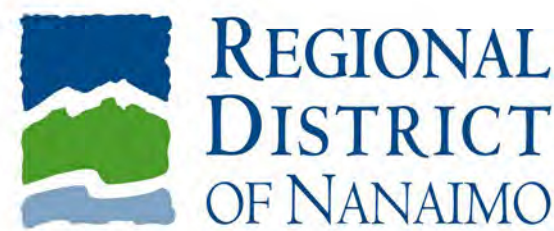
230 HOBBS ROAD  
QUALICUM BEACH BC

#### SHEET TITLE

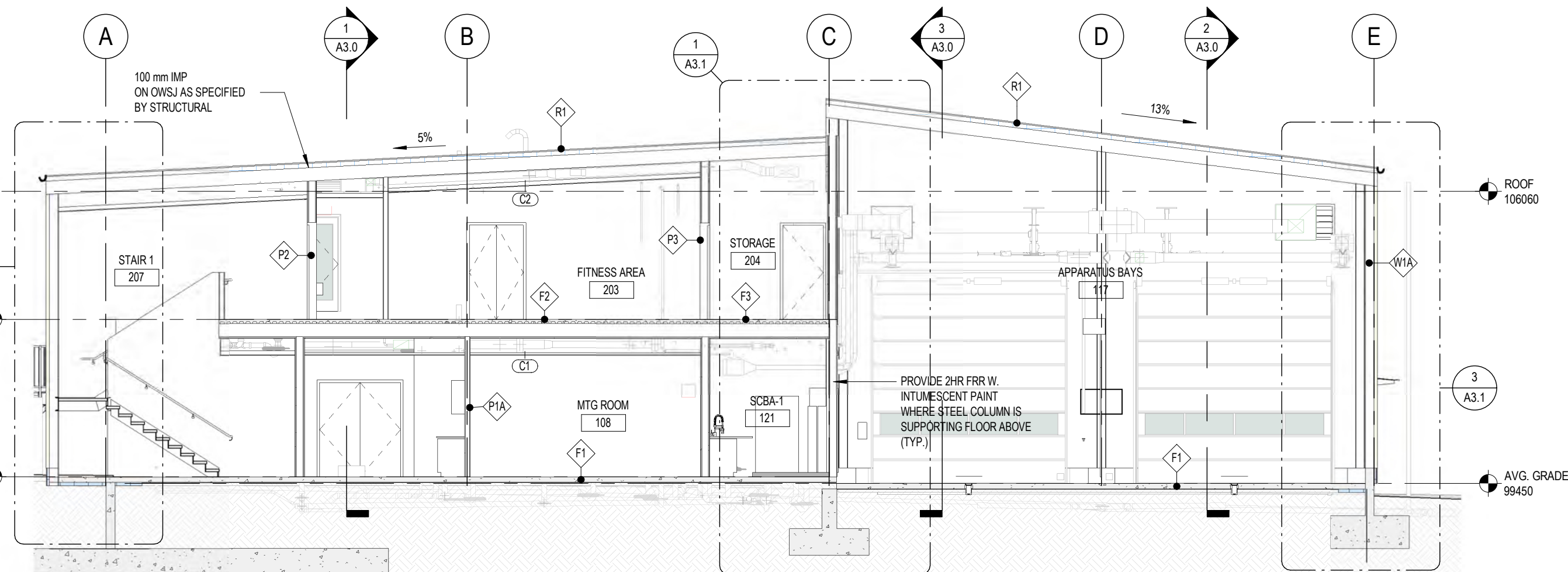
ELEVATIONS

DATE	2022-01-14	SHEET NO. <b>A2.0</b>
PROJECT NO.	20-007	
SCALE	1 : 100	
DRAWN BY	HS	

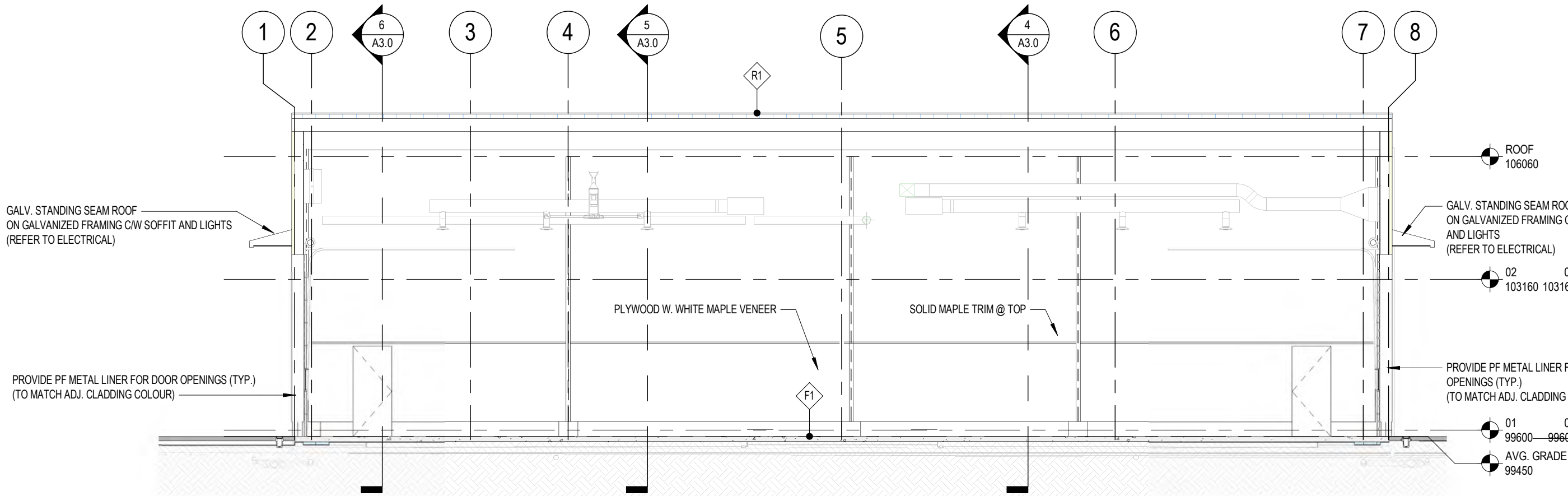




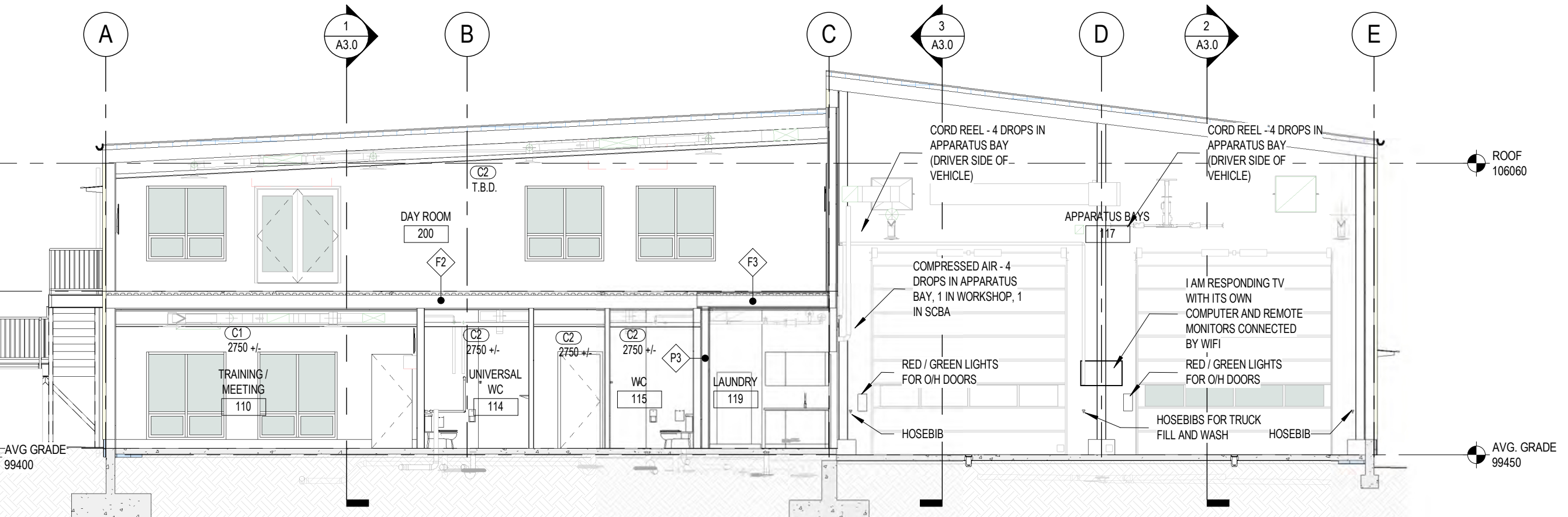
1 LONG SECTION 1  
1 : 100



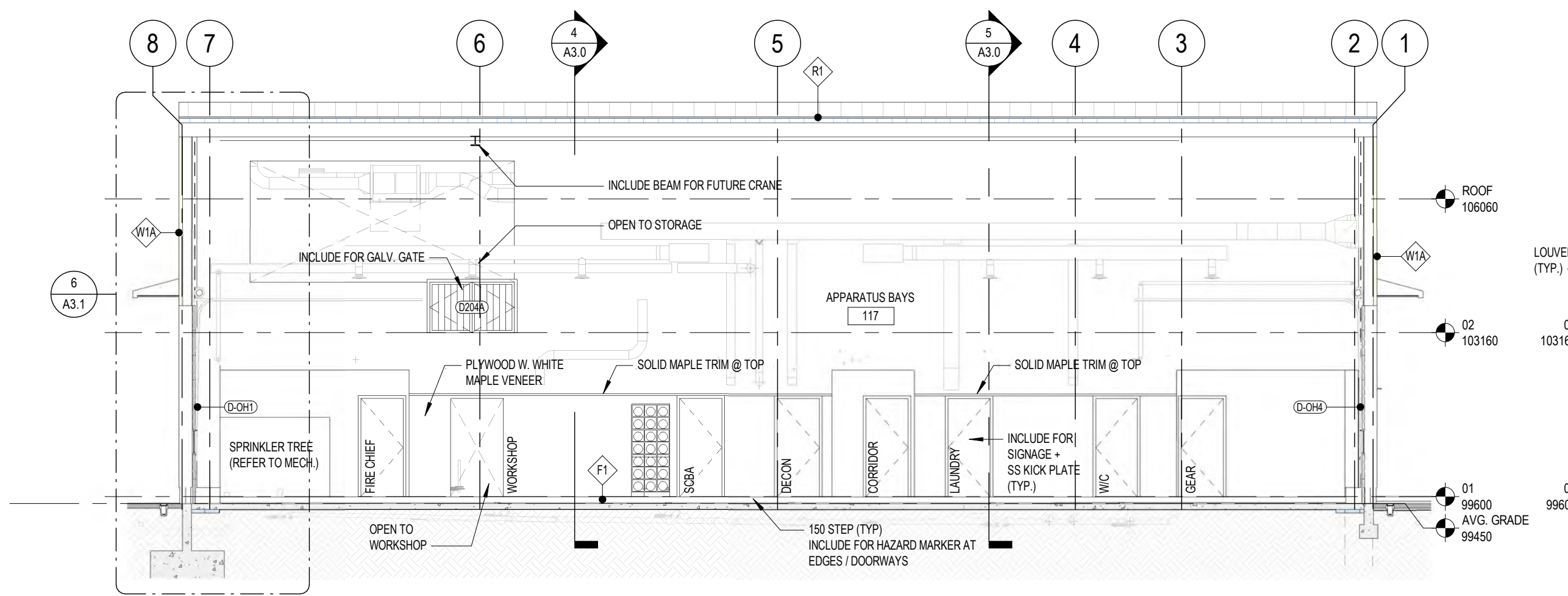
4 CROSS SECTION 1  
1 : 100



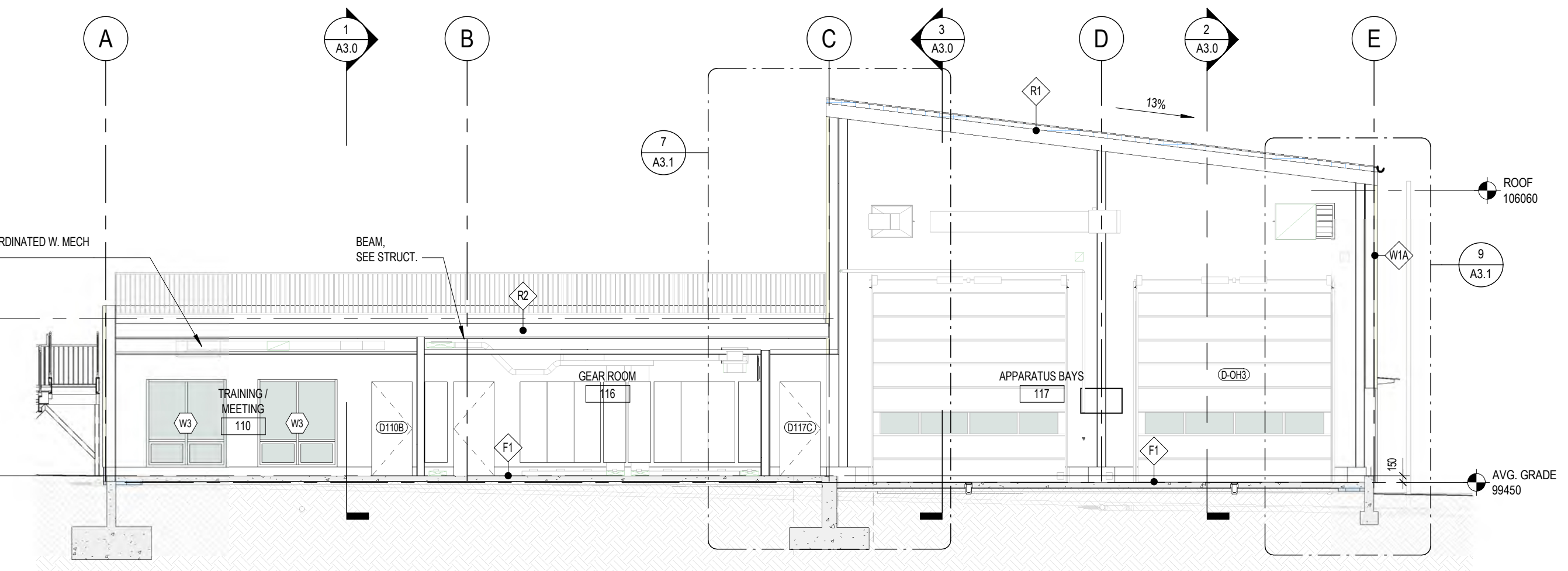
2 LONG SECTION 2  
1 : 100



5 CROSS SECTION 2  
1 : 100



3 LONG SECTION 3  
1 : 100



6 CROSS SECTION 3  
1 : 100

5	2022-07-22	ISSUED FOR TENDER
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NO.	DATE	DESCRIPTION
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SEAL



PROJECT TITLE  
**DASHWOOD FIRE HALL REPLACEMENT**

230 HOBBS ROAD  
QUALICUM BEACH BC

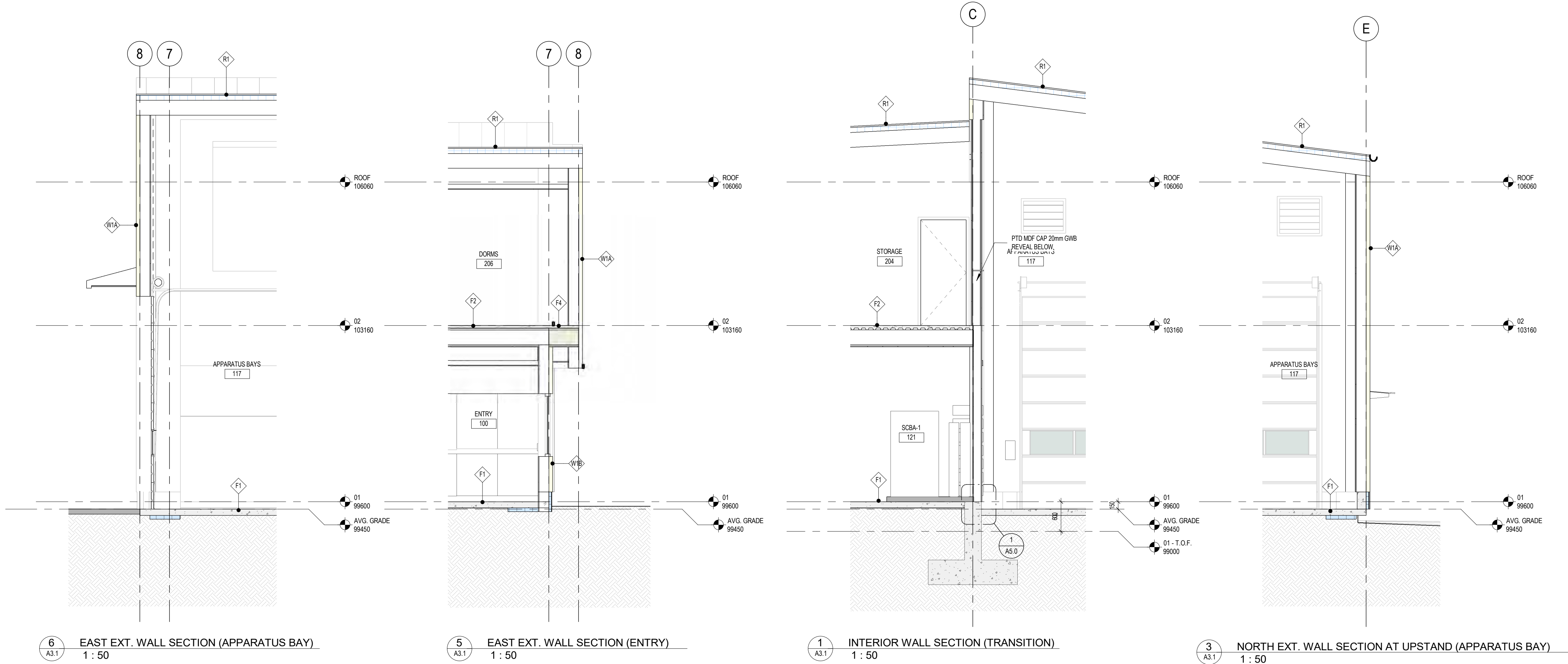
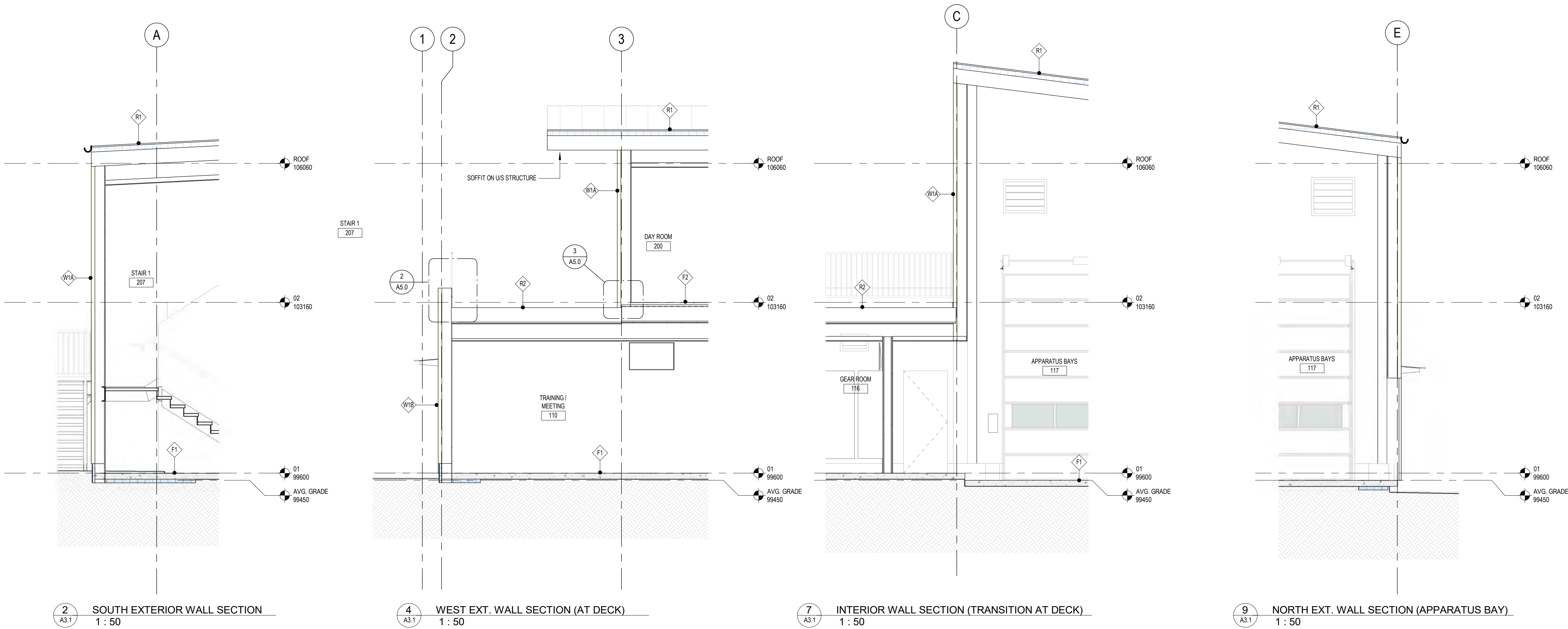
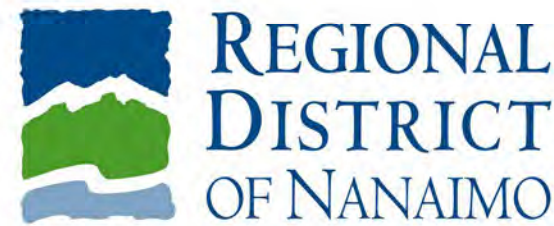
SHEET TITLE

BUILDING SECTIONS

DATE	2022-01-14	SHEET NO.
PROJECT NO.	20-007	A3.0
SCALE	1 : 100	
DRAWN BY	LK	



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NO.	DATE	DESCRIPTION
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SEAL



Heather Spinney, Architect, AIBC  
Robert Rocheleau, Architect, AIBC

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250 475 2702 studioipa.ca

PROJECT TITLE  
**DASHWOOD FIRE HALL REPLACEMENT**

230 HOBBS ROAD  
QUALICUM BEACH BC

SHEET TITLE

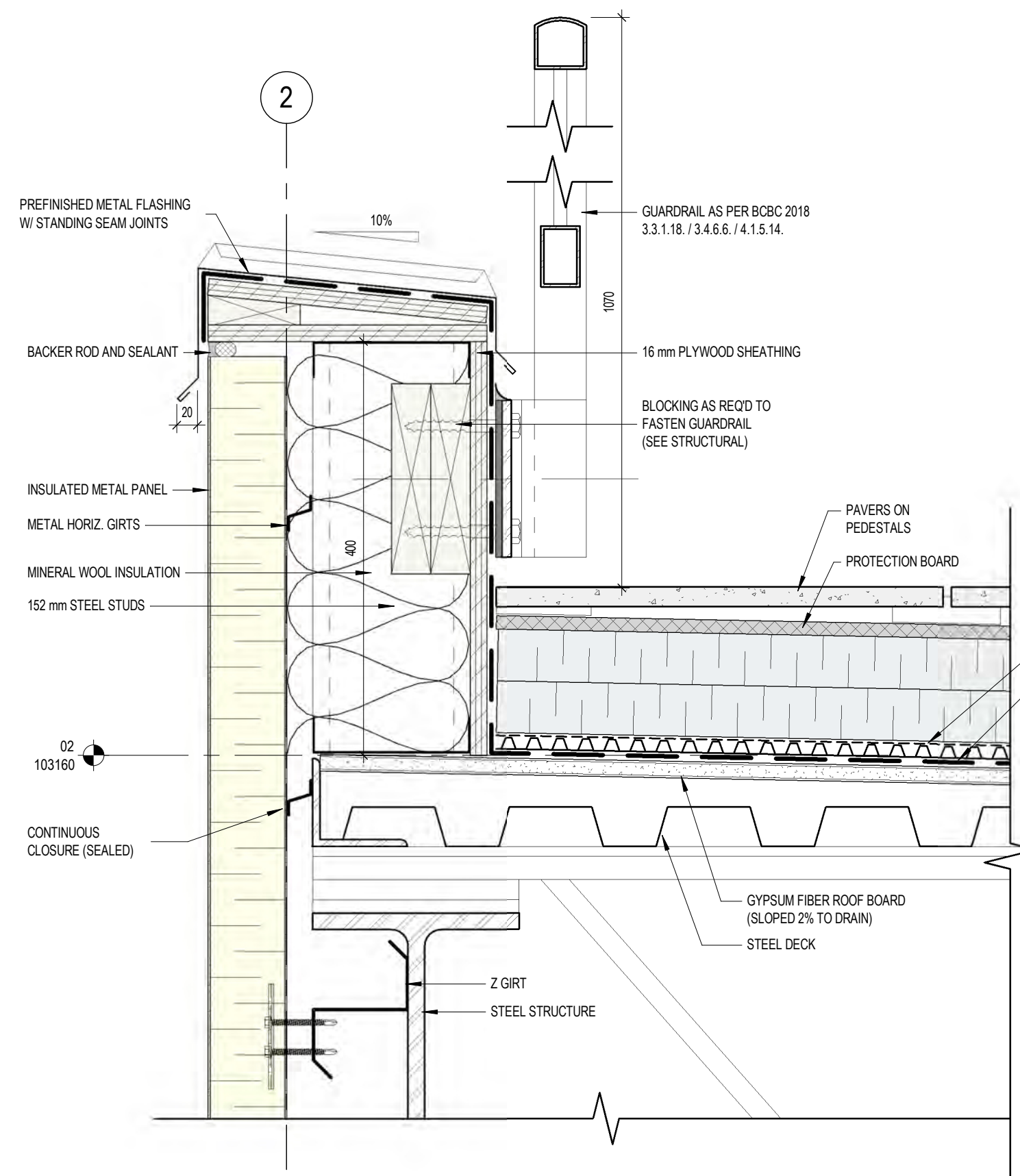
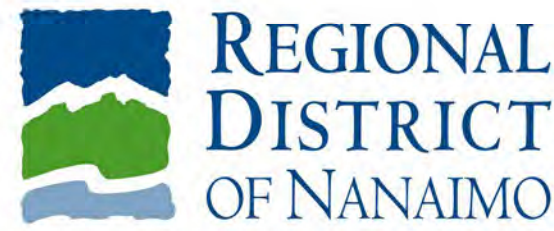
WALL SECTIONS

DATE	2022-01-14	SHEET NO.
PROJECT NO.	20-007	A3.1
SCALE	1 : 50	
DRAWN BY	LK	

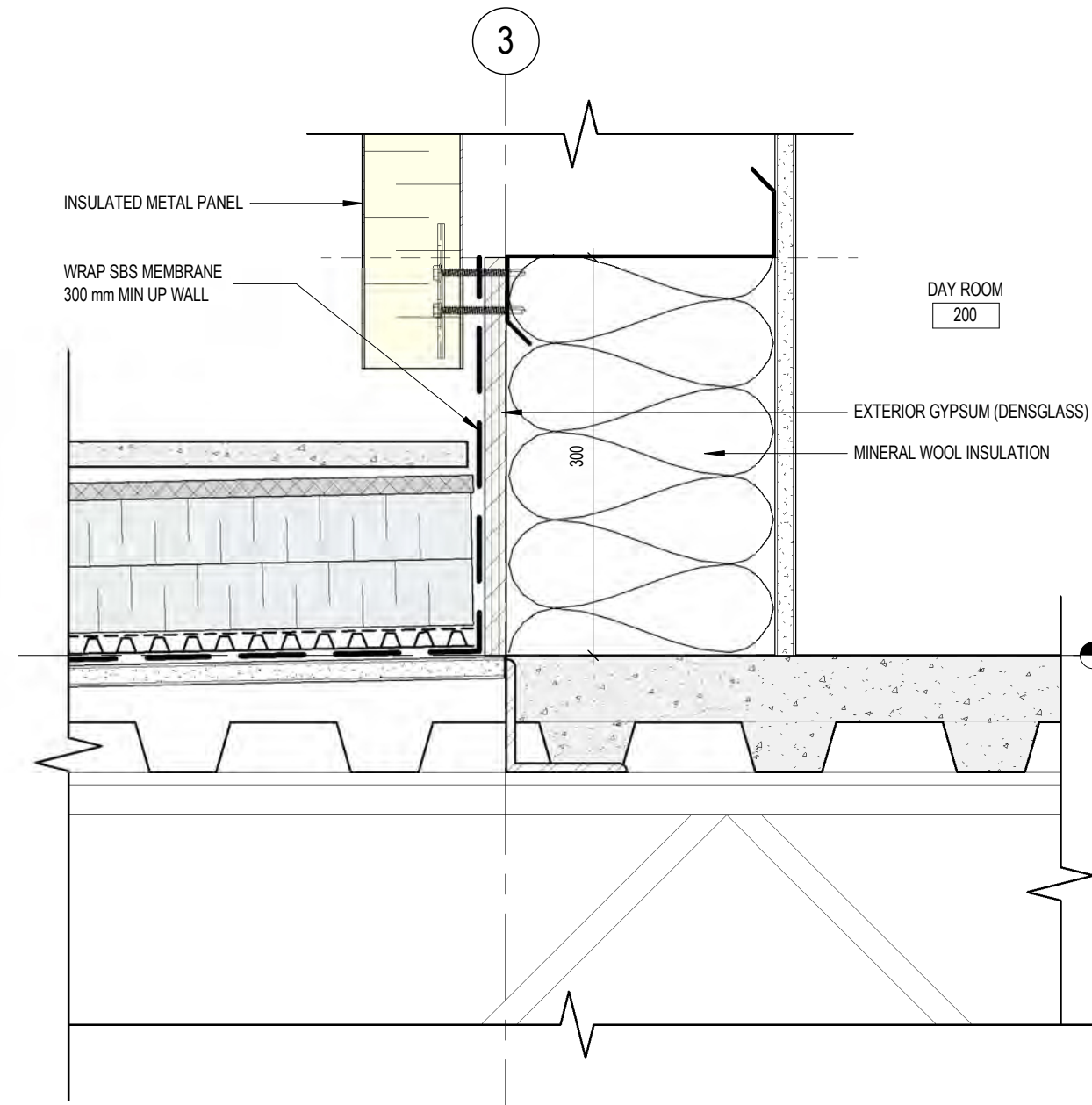


DRAWN BY	LK
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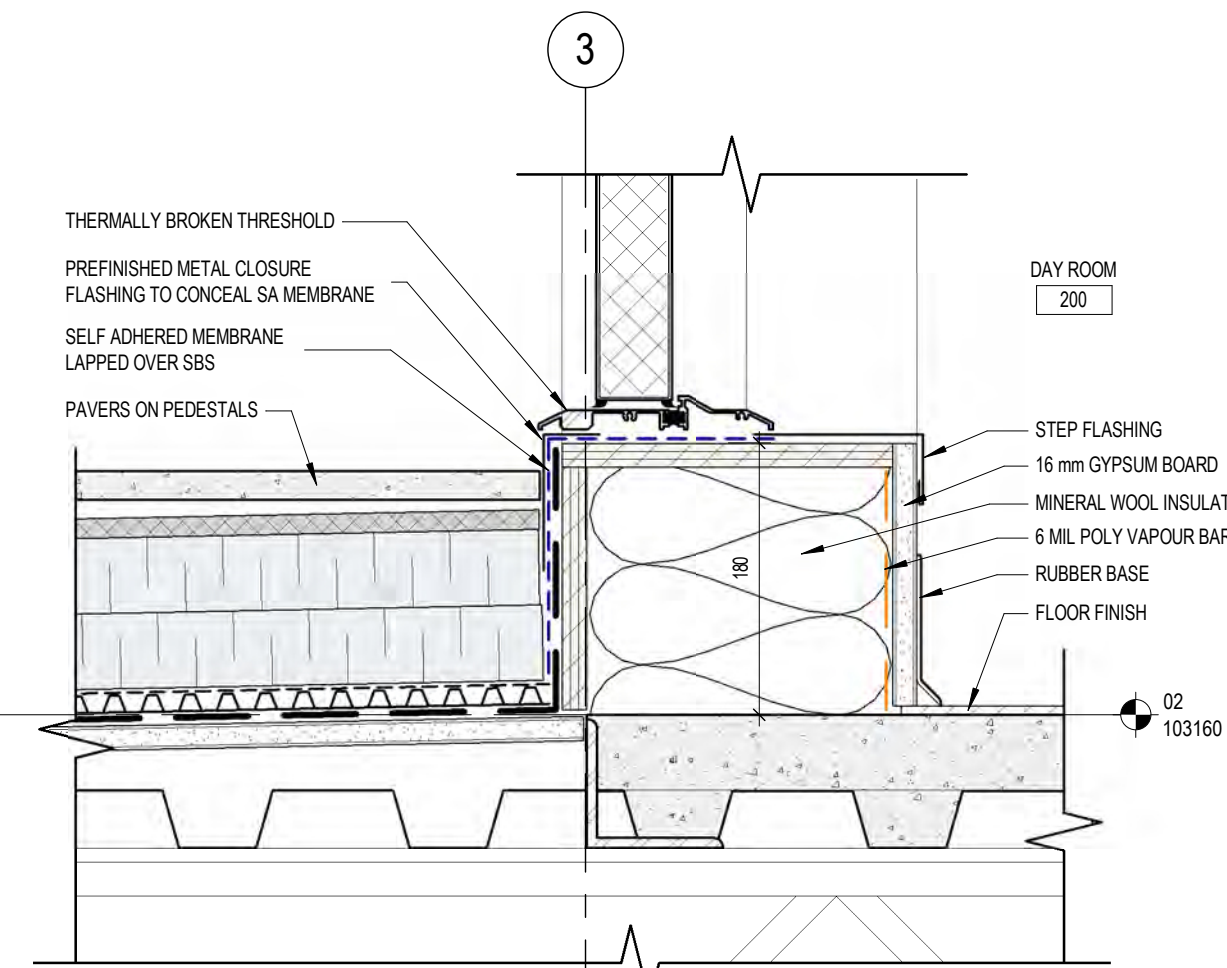




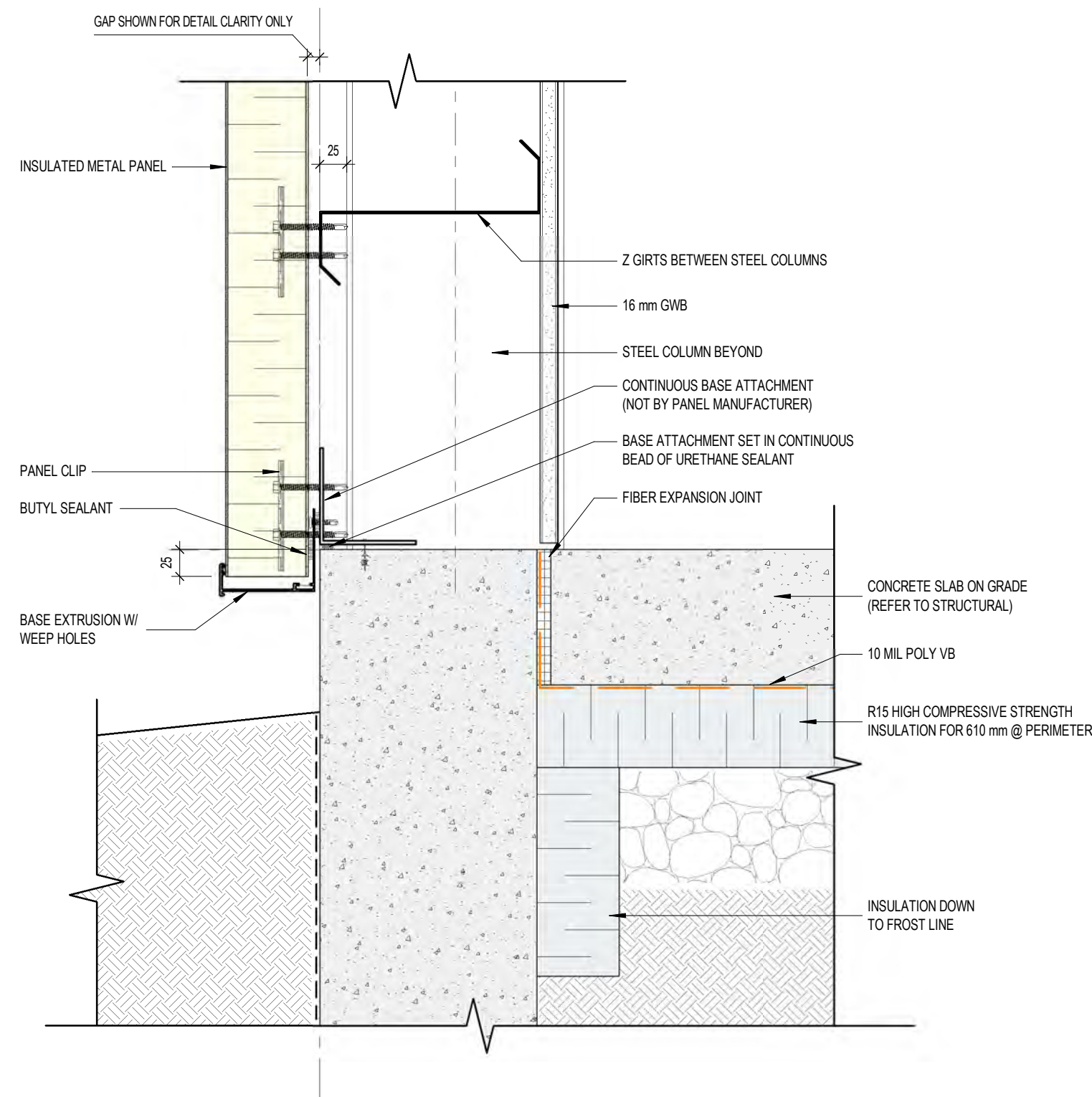
② DECK AREA - PARAPET / GUARDRAIL  
1 : 5



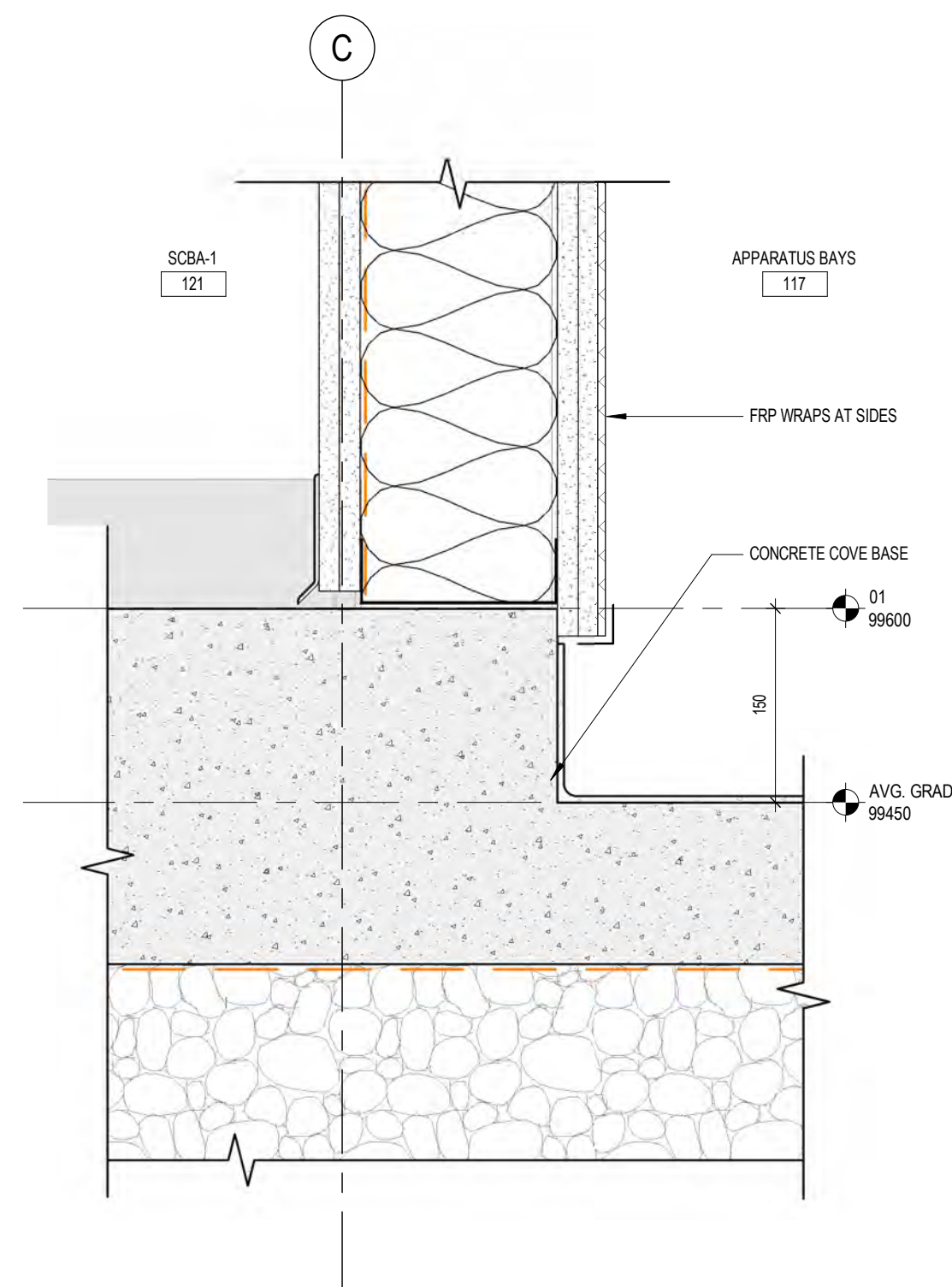
③ WALL DETAIL AT DECK  
1 : 5



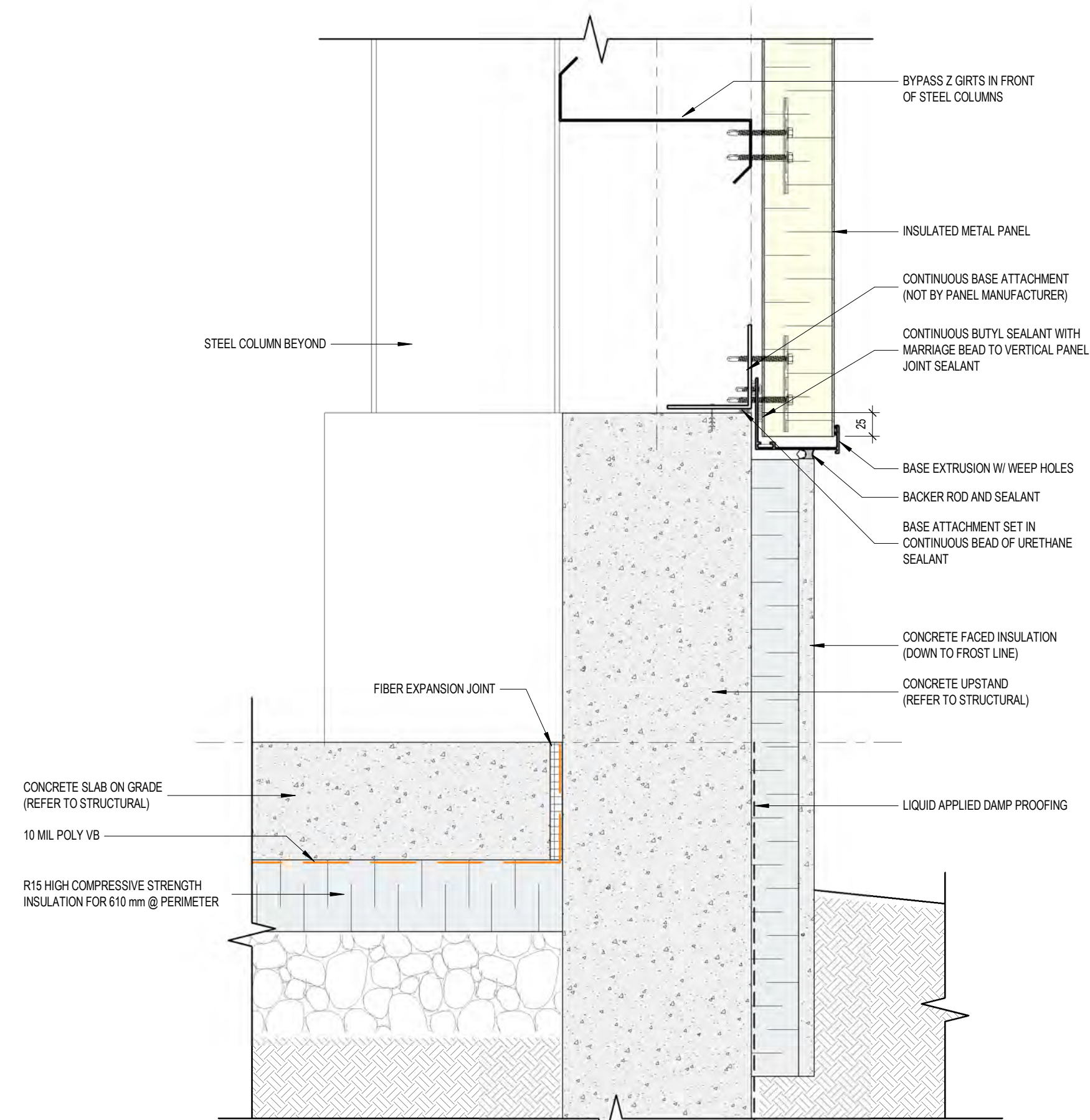
④ 2ND FLOOR DOOR THRESHOLD  
1 : 5



⑩ OFFICE BASE DETAIL  
1 : 5



① FOUNDATION DETAIL AT BLDG  
TRANSITION AT WALL  
1 : 5



⑪ APPARATUS BAY BASE DETAIL  
1 : 5

5	2022-07-22	ISSUED FOR TENDER
4	2022-05-20	ISSUED FOR CLASS A COSTING
3	2022-03-04	ISSUED FOR BUILDING PERMIT

NO.	DATE	DESCRIPTION
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SEAL



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Robert Rocheleau, Architect, AIBC

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250 475 2702  
studioipa.ca

PROJECT TITLE

## DASHWOOD FIRE HALL REPLACEMENT

230 HOBBS ROAD  
QUALICUM BEACH BC

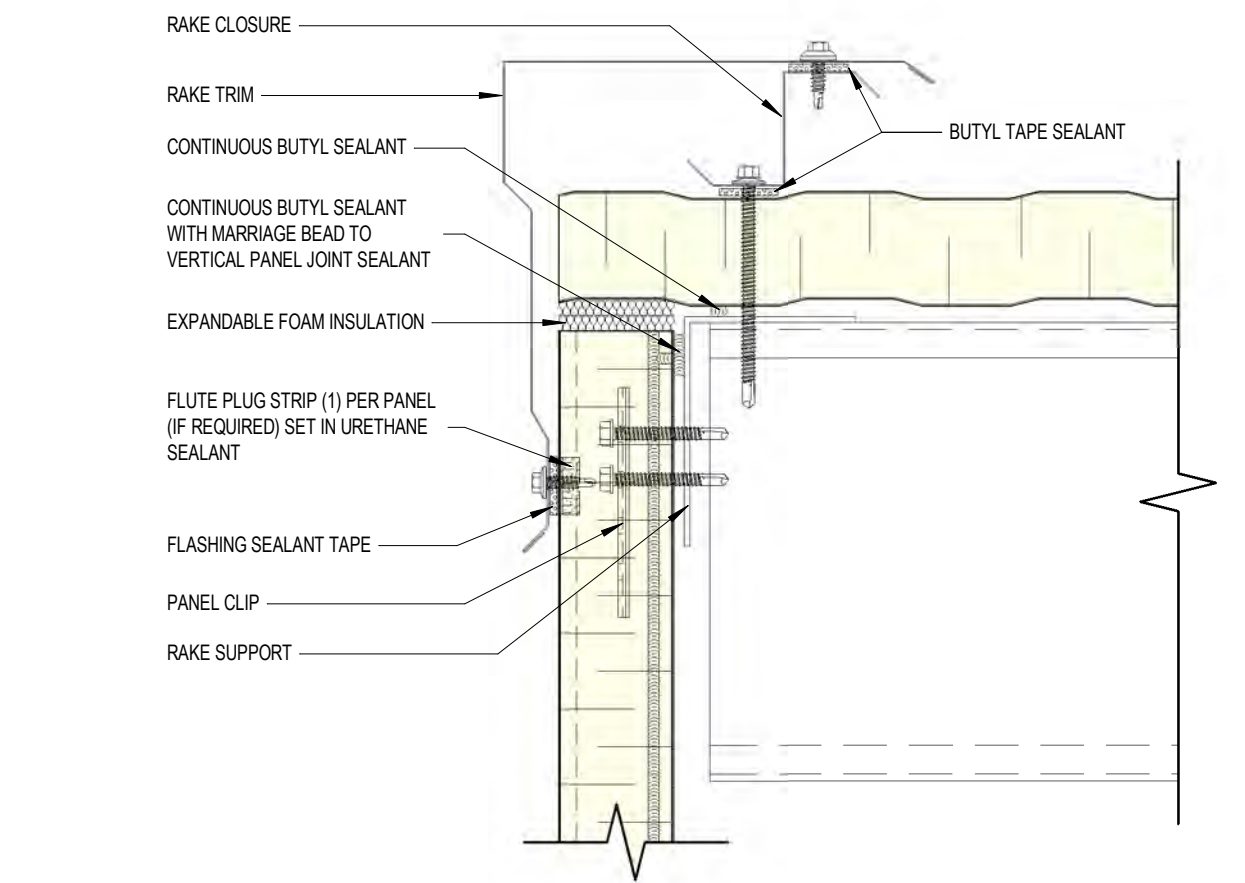
SHEET TITLE

DETAILS

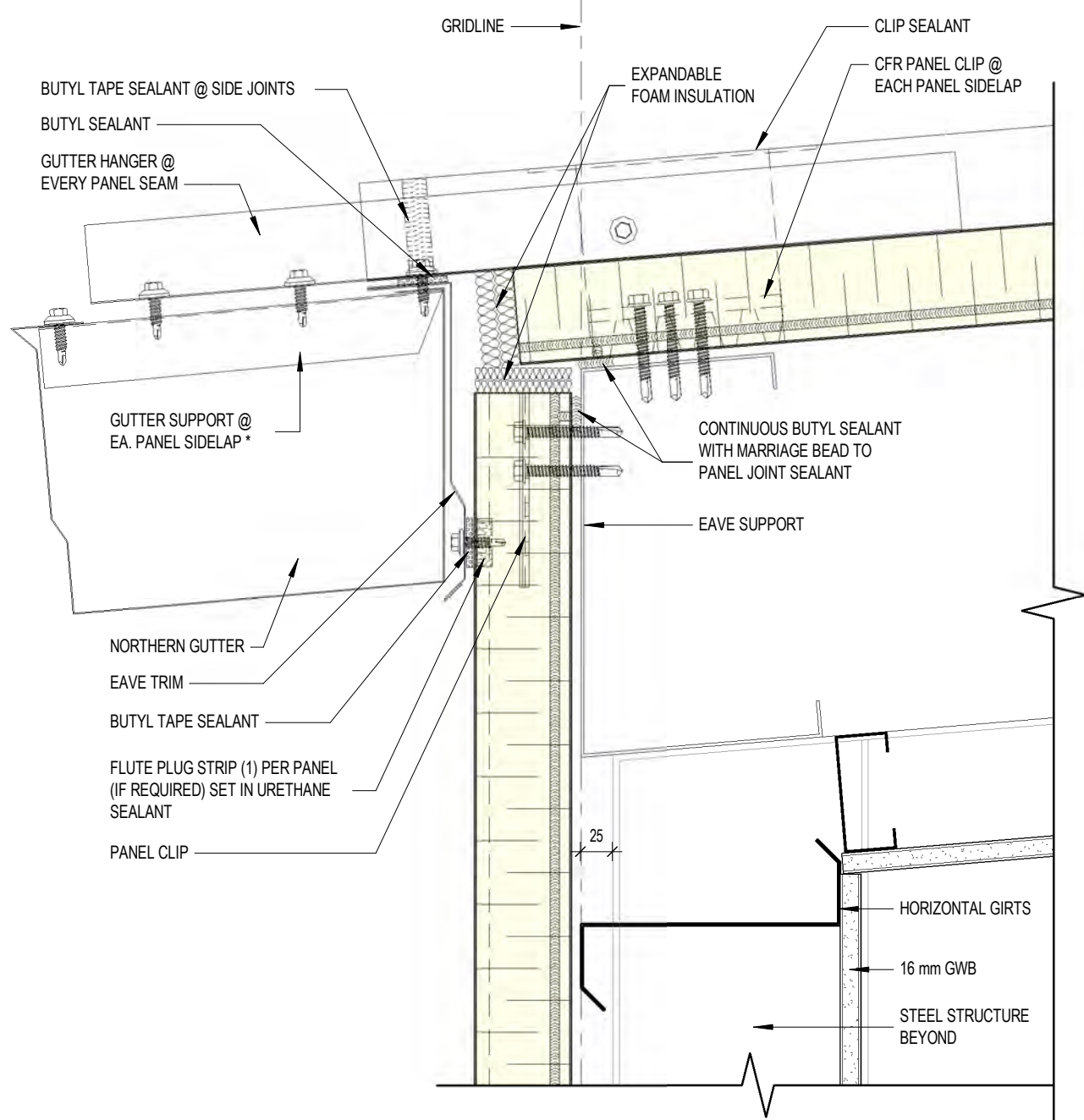
DATE	2022-01-14	SHEET NO. <b>A5.0</b>
PROJECT NO.	20-007	
SCALE	1 : 5	
DRAWN BY	KD	



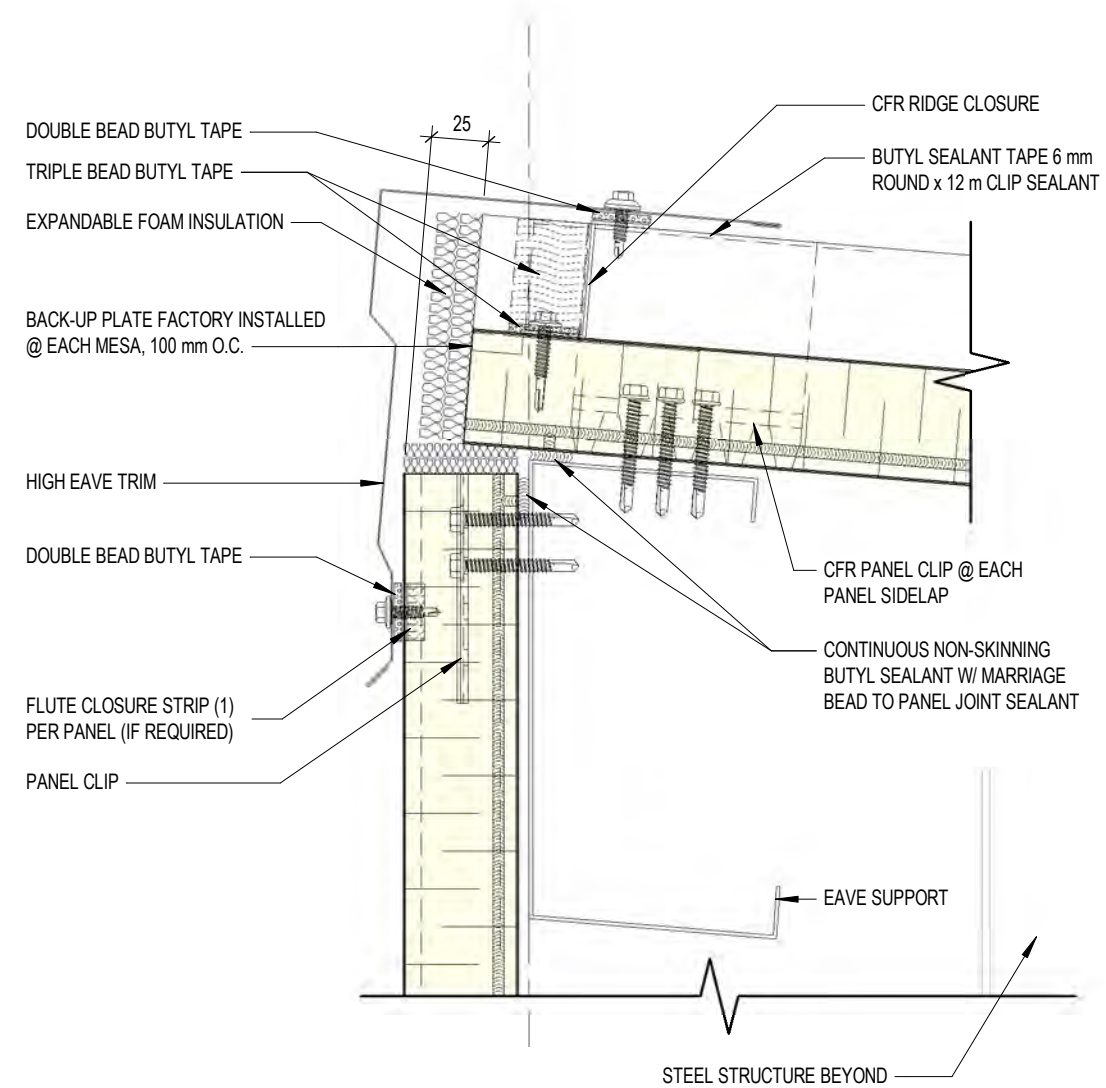
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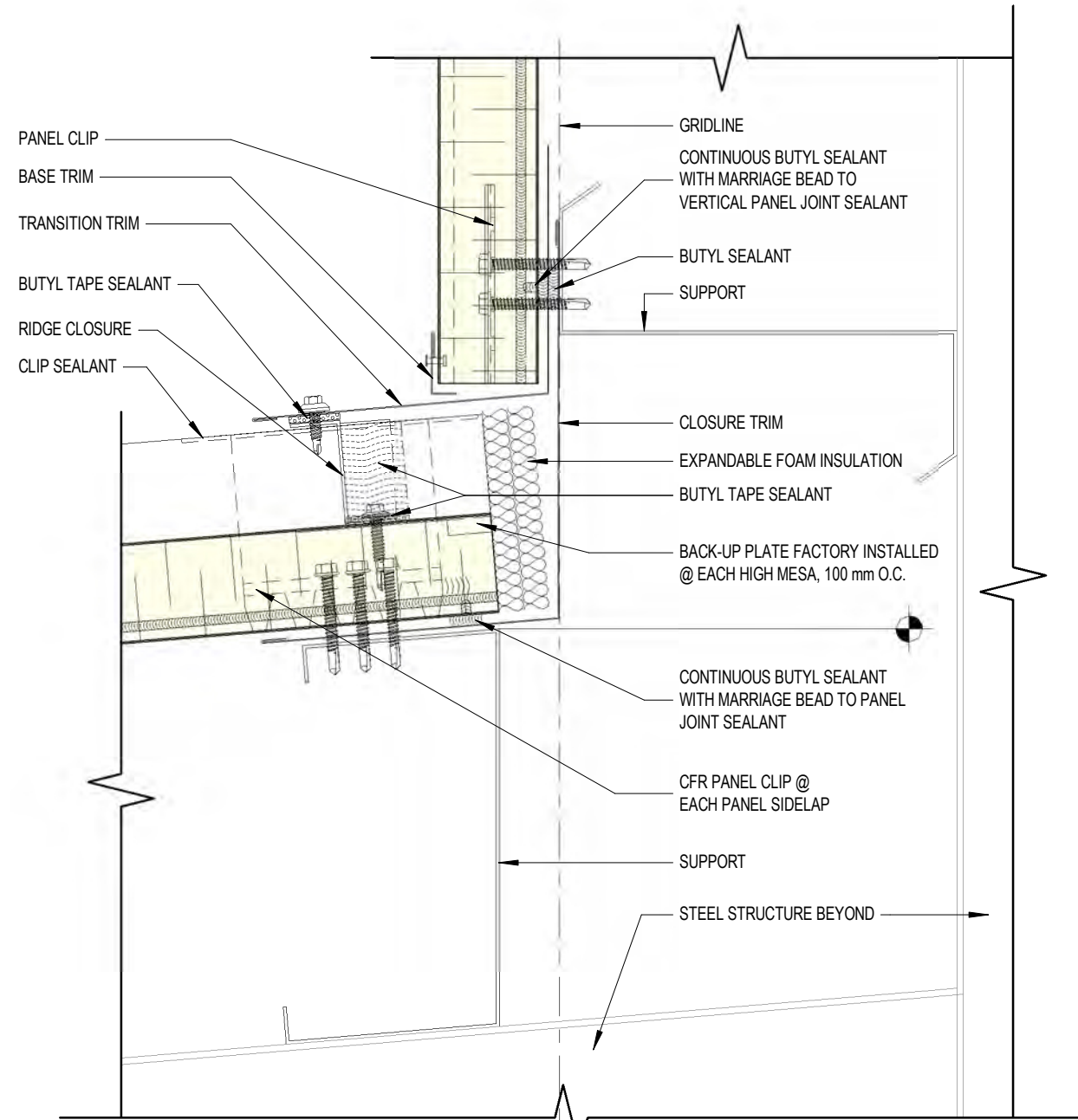
8 RAKE WITH HIGH PROFILE TRIM  
1 : 5



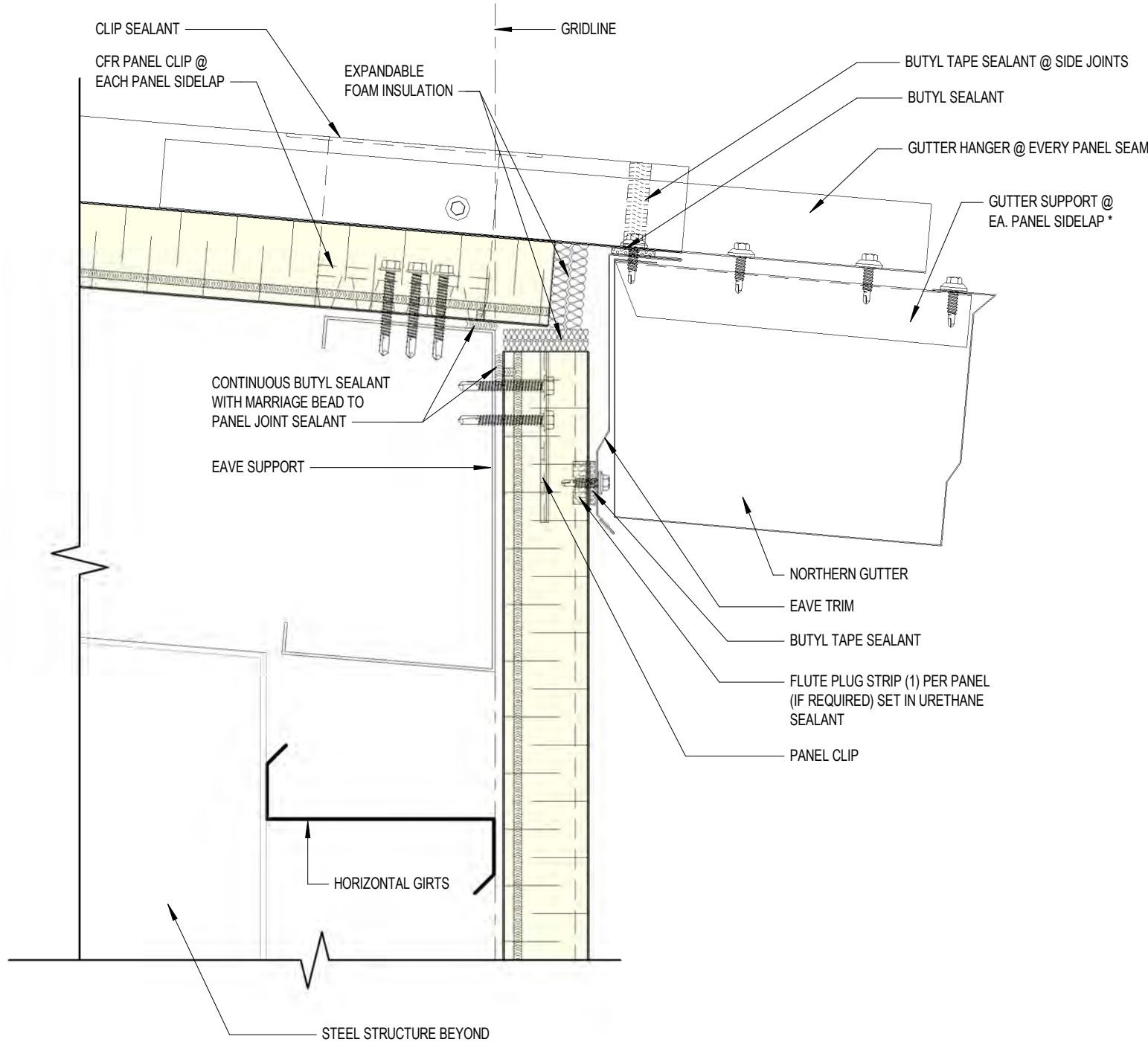
6 LOW EAVE WITH NORTHERN GUTTER (OFFICE SIDE)  
1 : 5



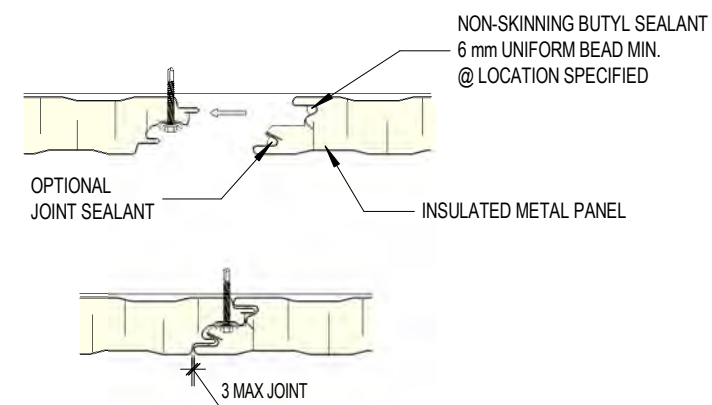
9 HIGH EAVE  
1 : 5



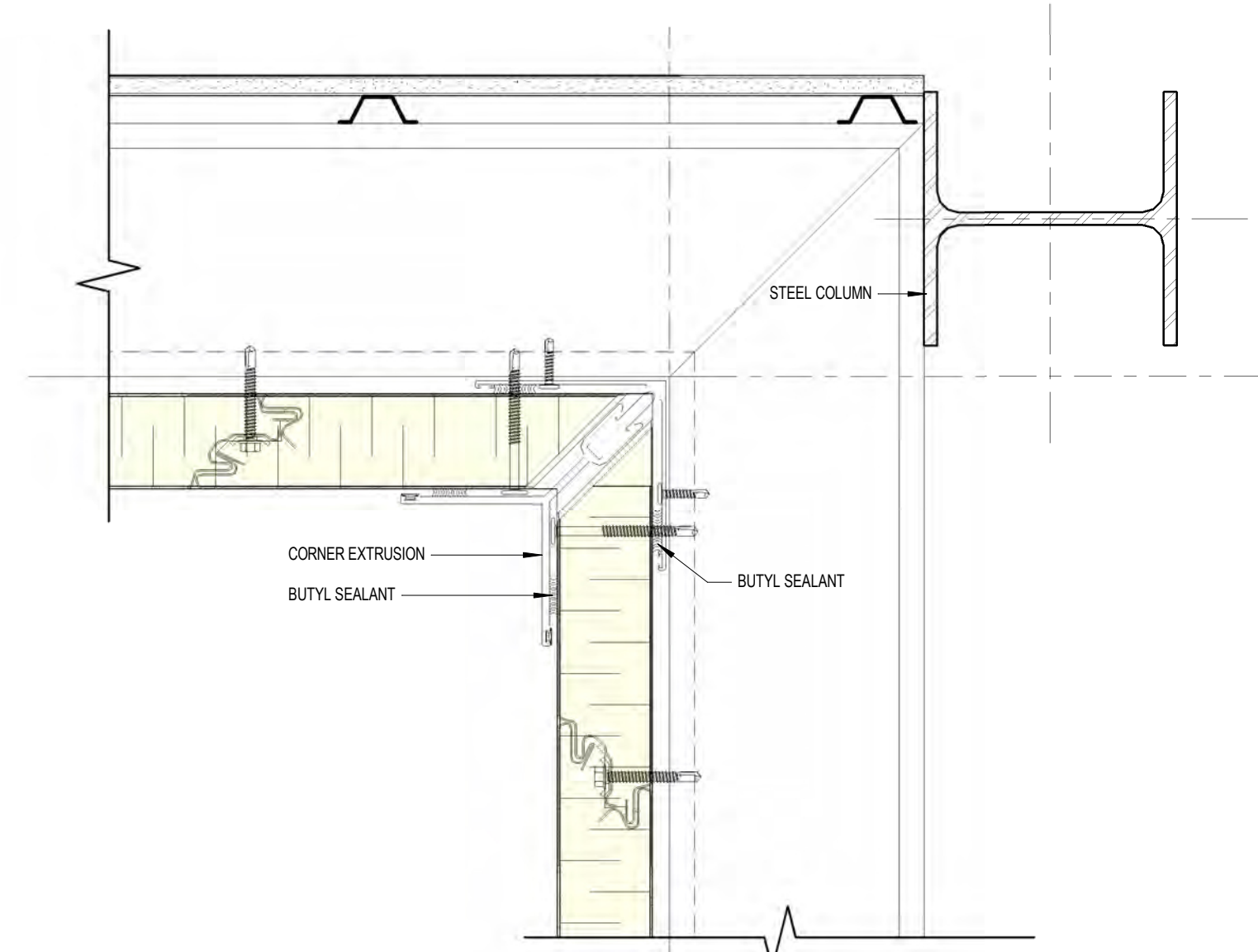
7 TRANSITION WALL TO HIGH EAVE  
1 : 5



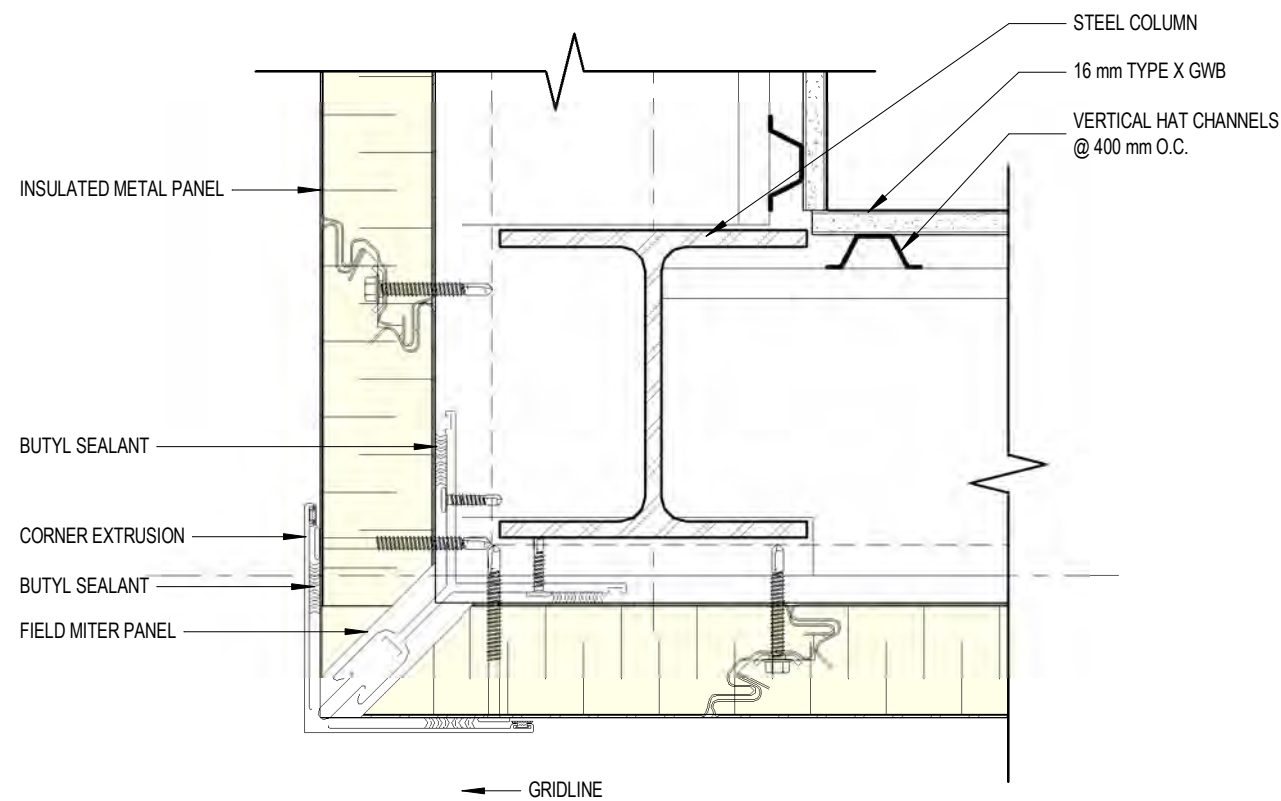
10 LOW EAVE WITH NORTHERN GUTTER (APPARATUS BAY)  
1 : 5



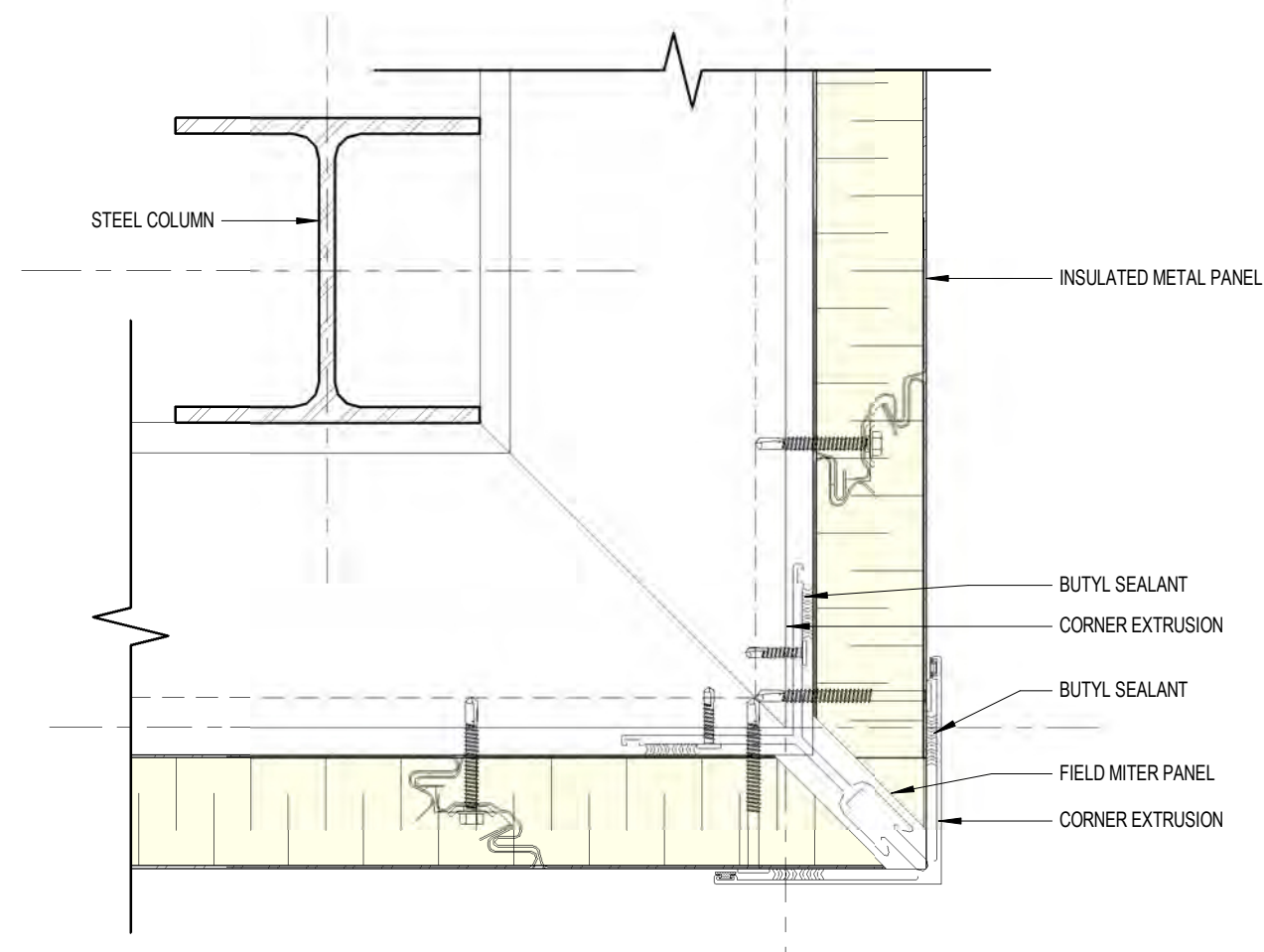
14 TYPICAL PANEL JOINTS PLAN DETAIL  
1 : 10



13 APPARATUS BAY TO OFFICE TRANSITION  
1 : 5



11 CORNER PLAN (OFFICE)  
1 : 5



12 OUTSIDE CORNER (APPARATUS BAY)  
1 : 5

5	2022-07-22	ISSUED FOR TENDER
4	2022-05-20	ISSUED FOR CLASS A COSTING
3	2022-03-04	ISSUED FOR BUILDING PERMIT

NO.	DATE	DESCRIPTION
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SEAL

**STUDIO PA**  
PRAXIS ARCHITECTS INC.

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PROJECT TITLE  
**DASHWOOD FIRE HALL REPLACEMENT**

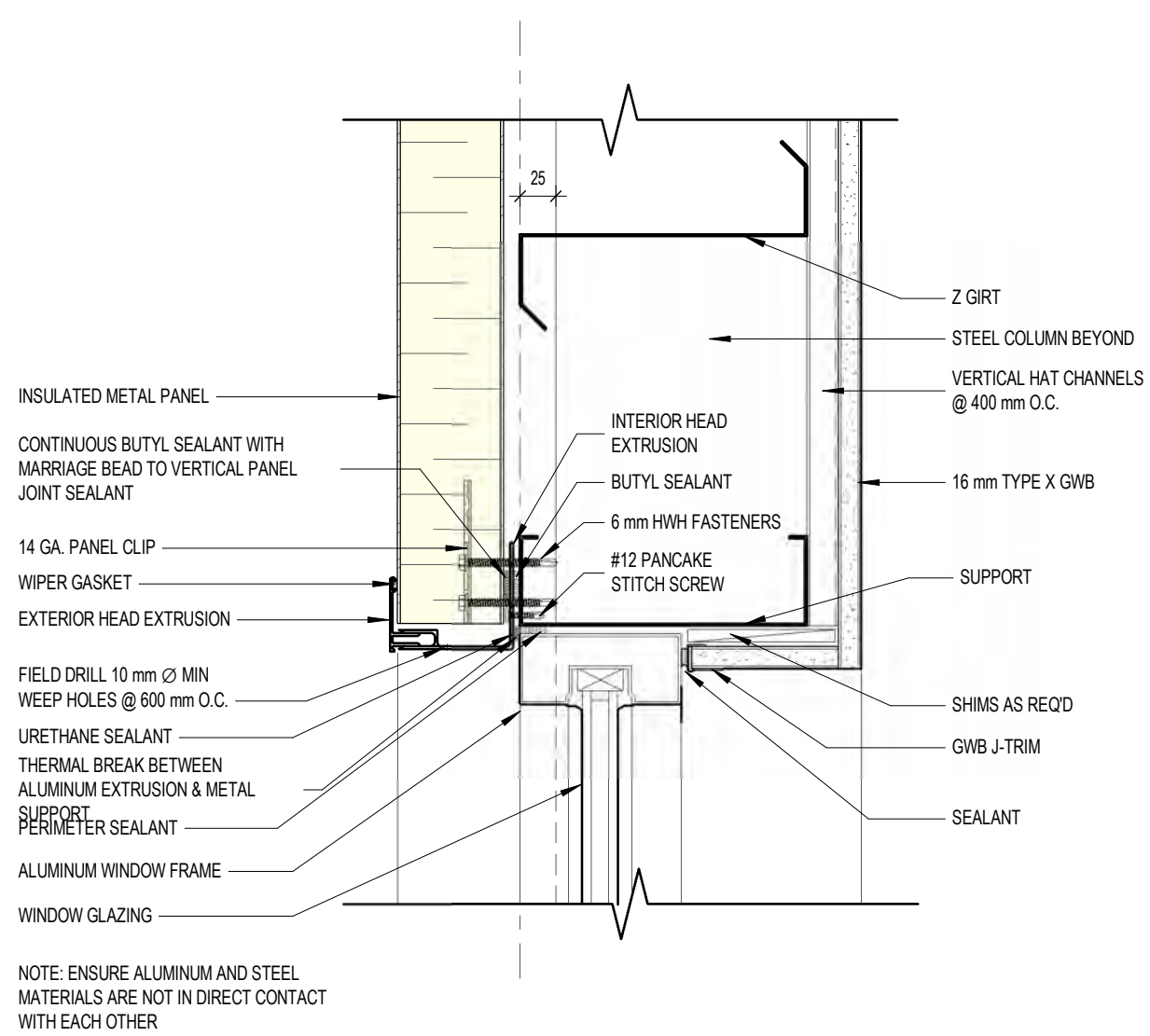
230 HOBBS ROAD  
QUALICUM BEACH BC

SHEET TITLE

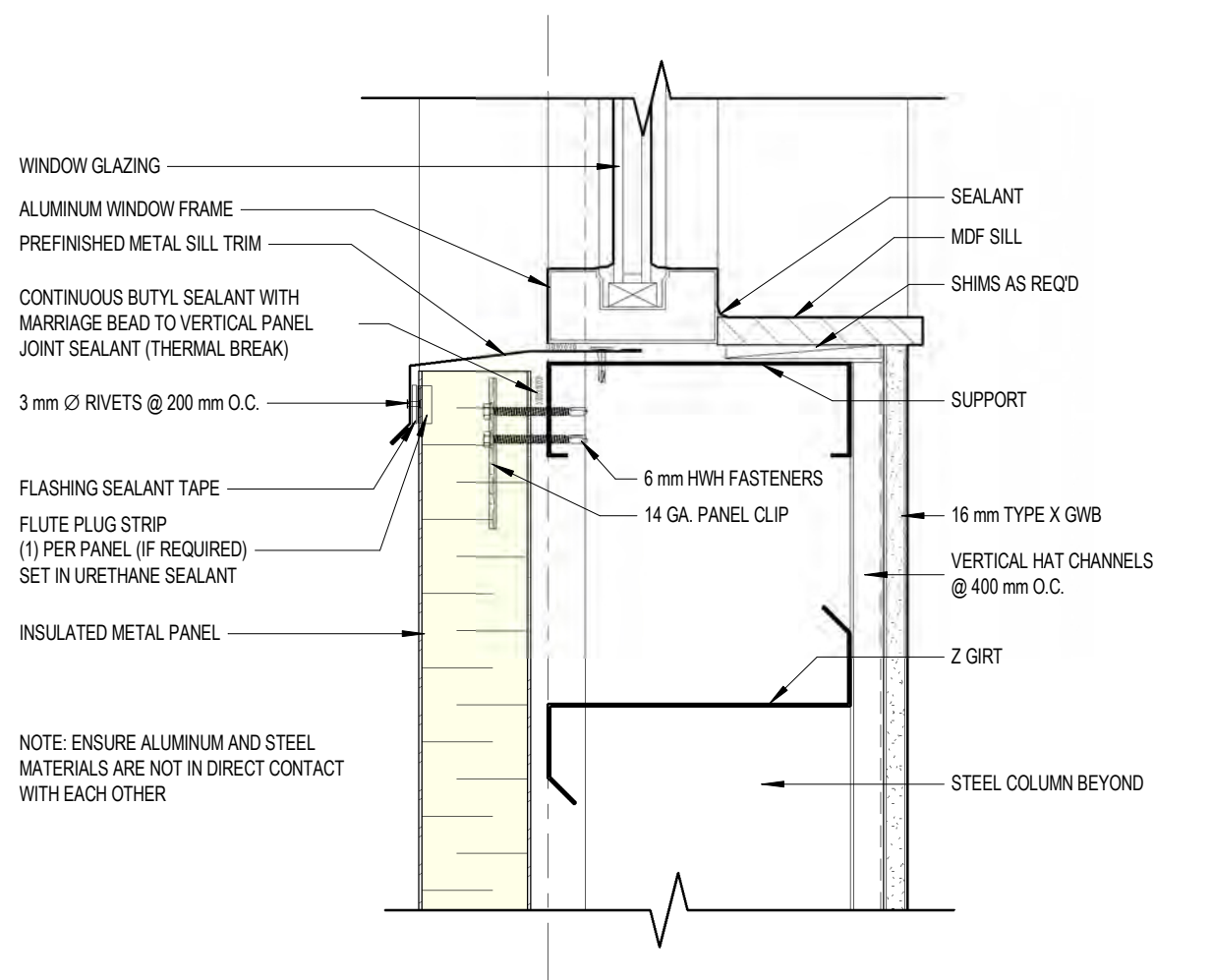
DETAILS

DATE	2022-01-14	SHEET NO. <b>A5.1</b>
PROJECT NO.	20-007	
SCALE	As Indicated	
DRAWN BY	KD	

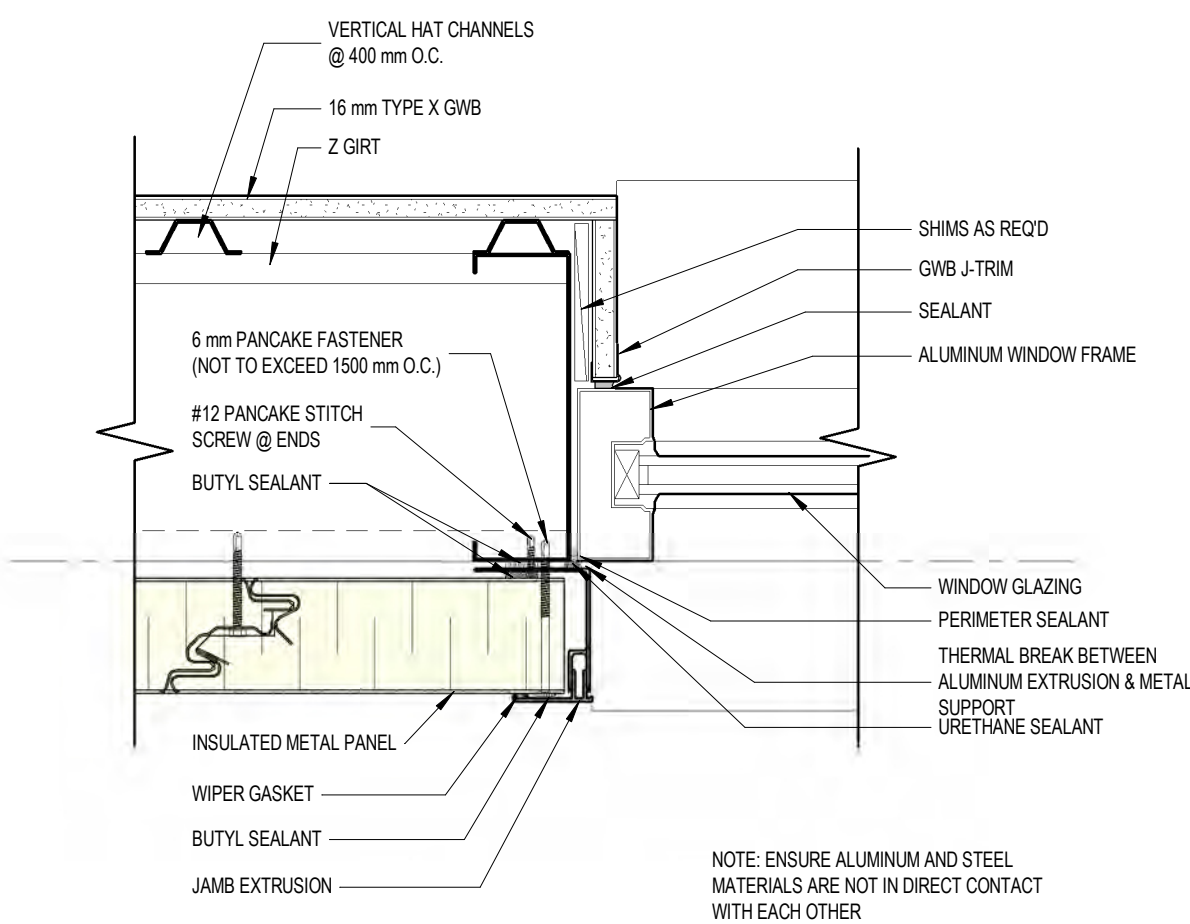




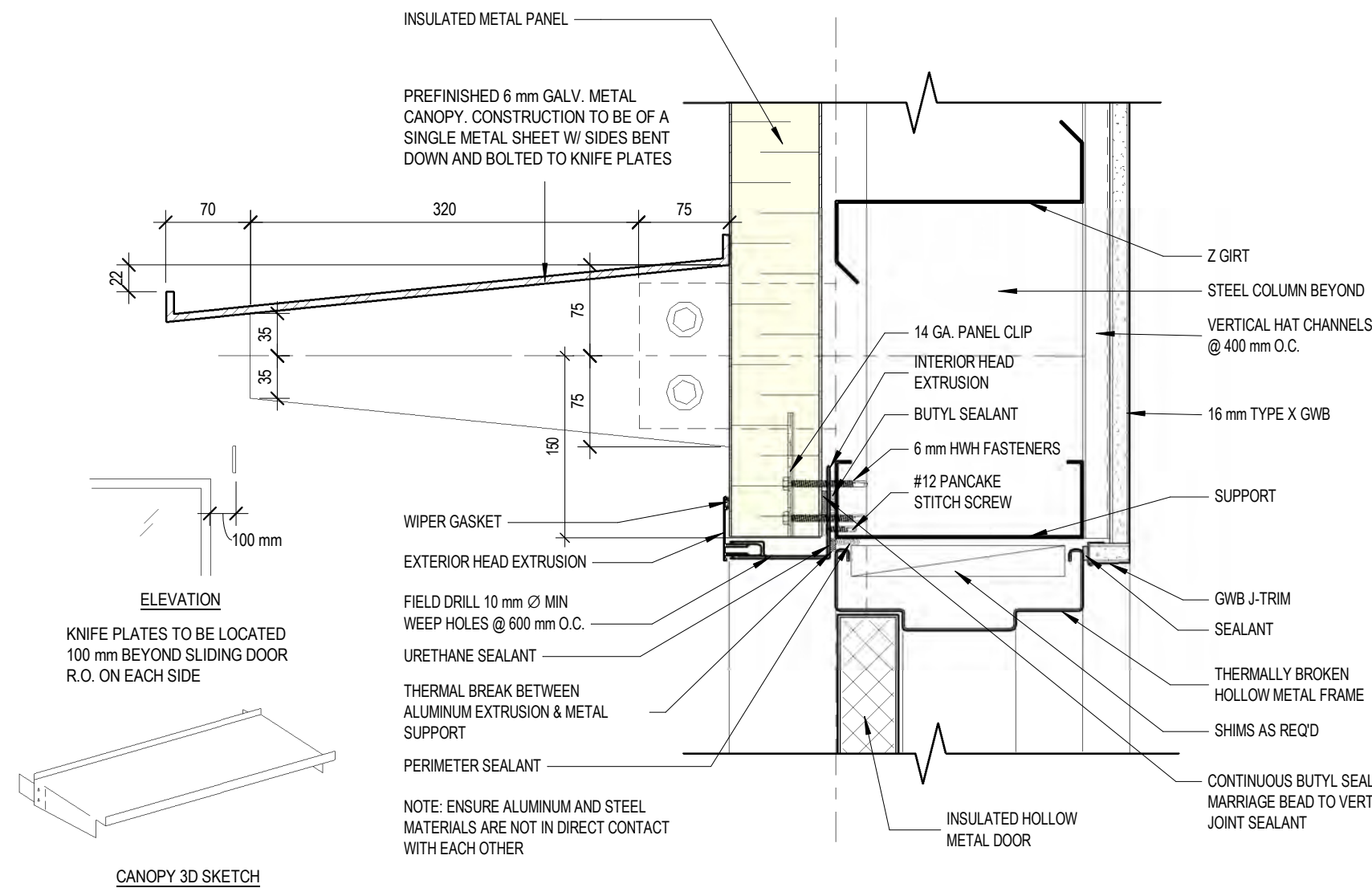
1 IMP WINDOW HEAD  
1 : 5



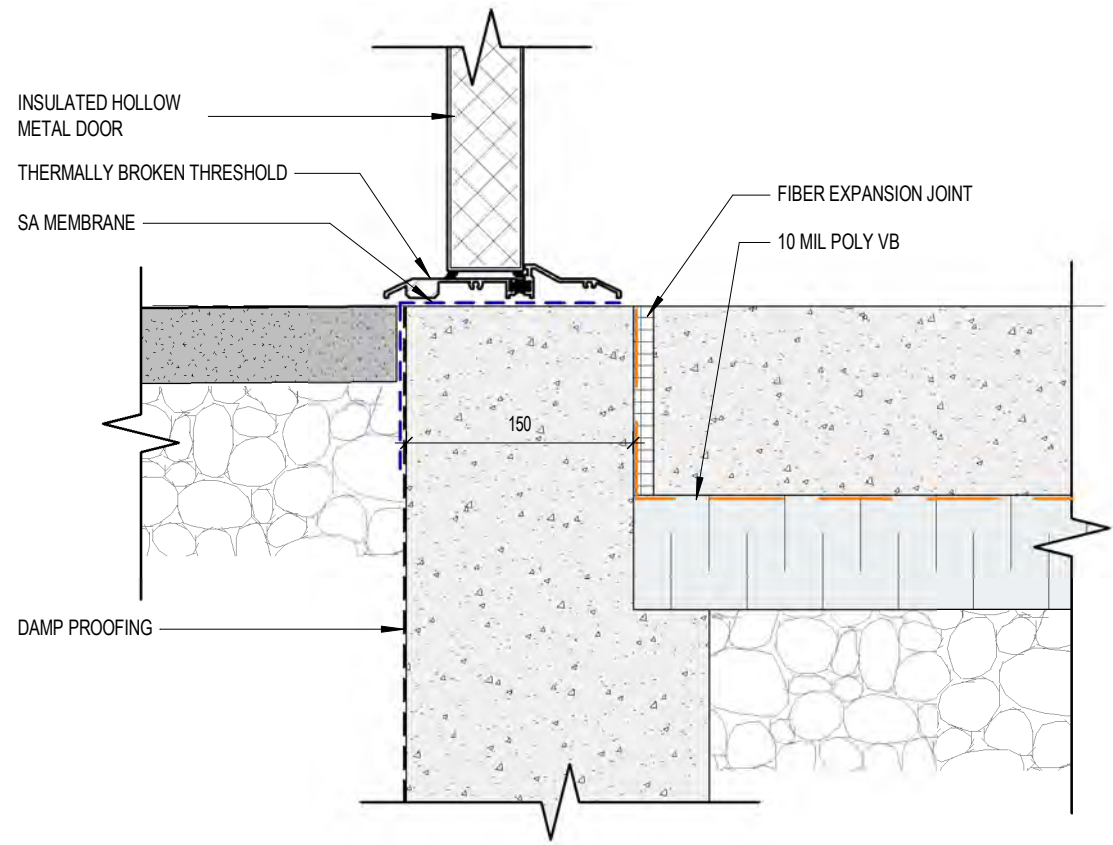
2 IMP WINDOW SILL  
1 : 5



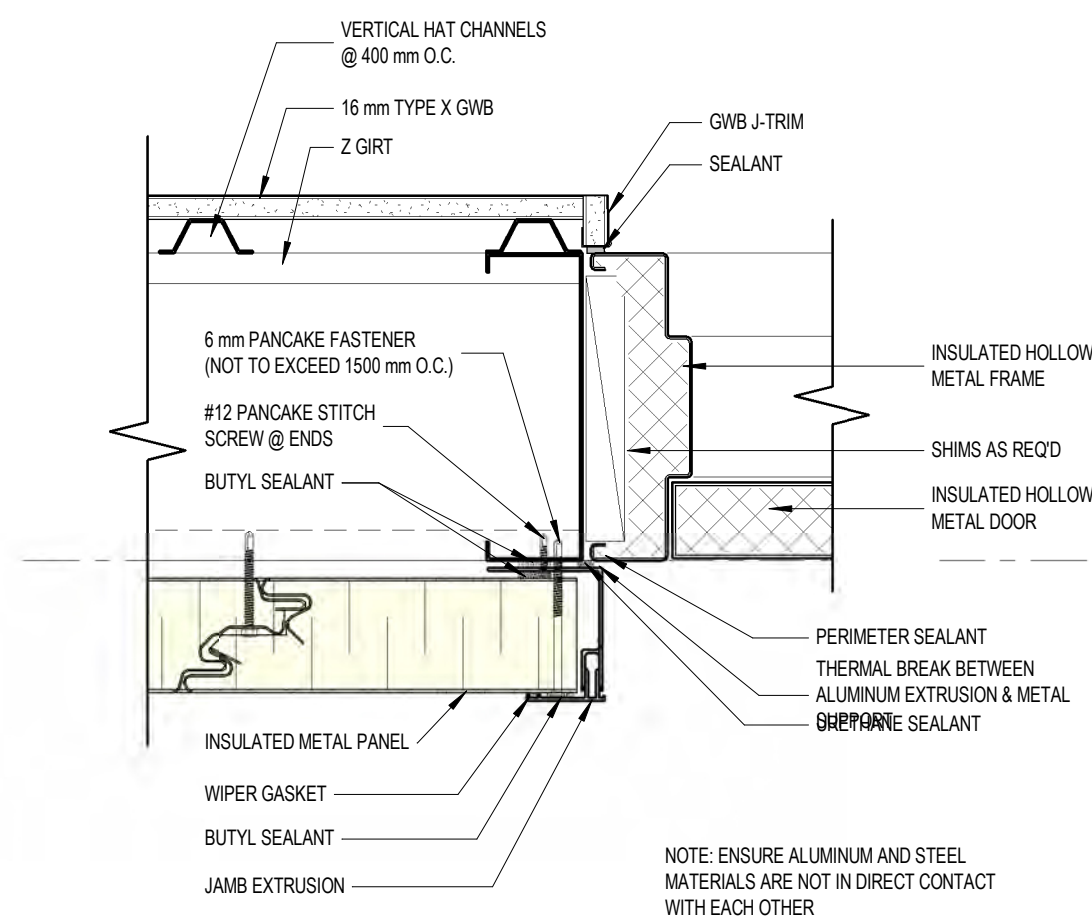
3 IMP WINDOW JAMB  
1 : 5



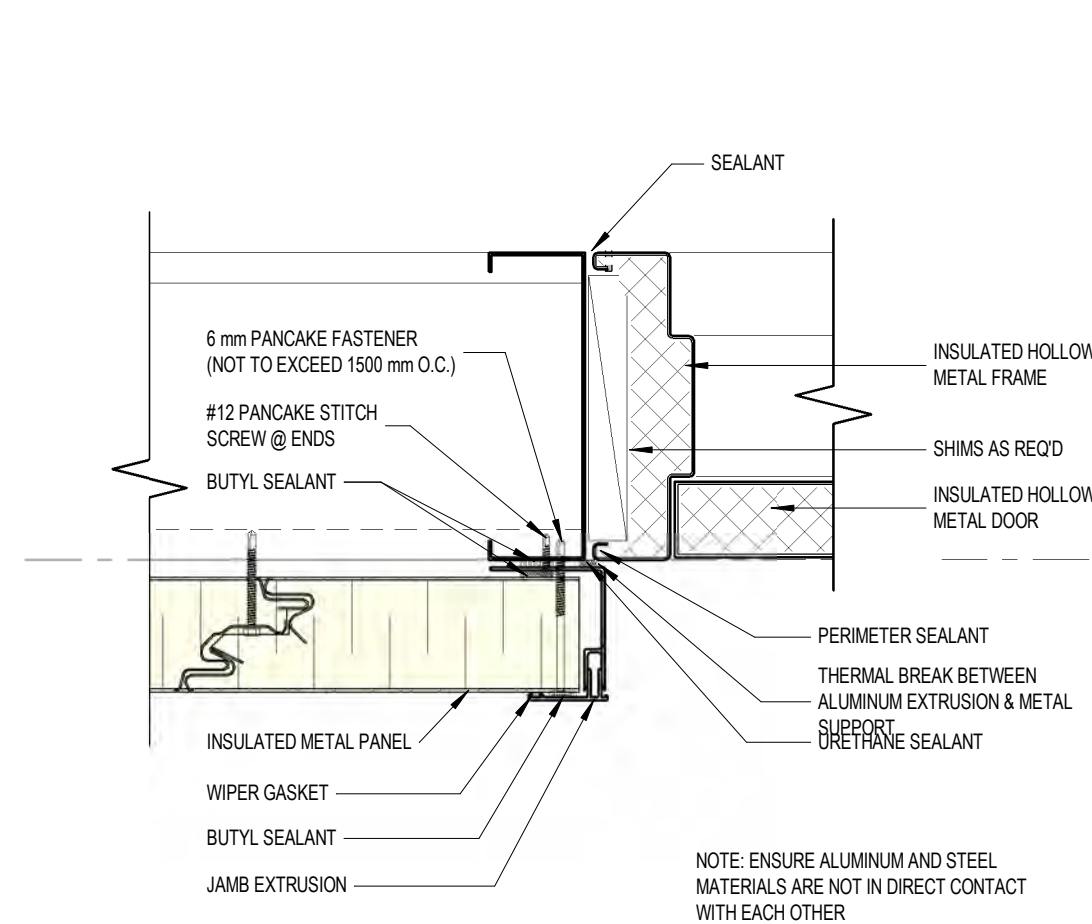
4 IMP DOOR HEAD W. CANOPY (OFFICE)  
1 : 5



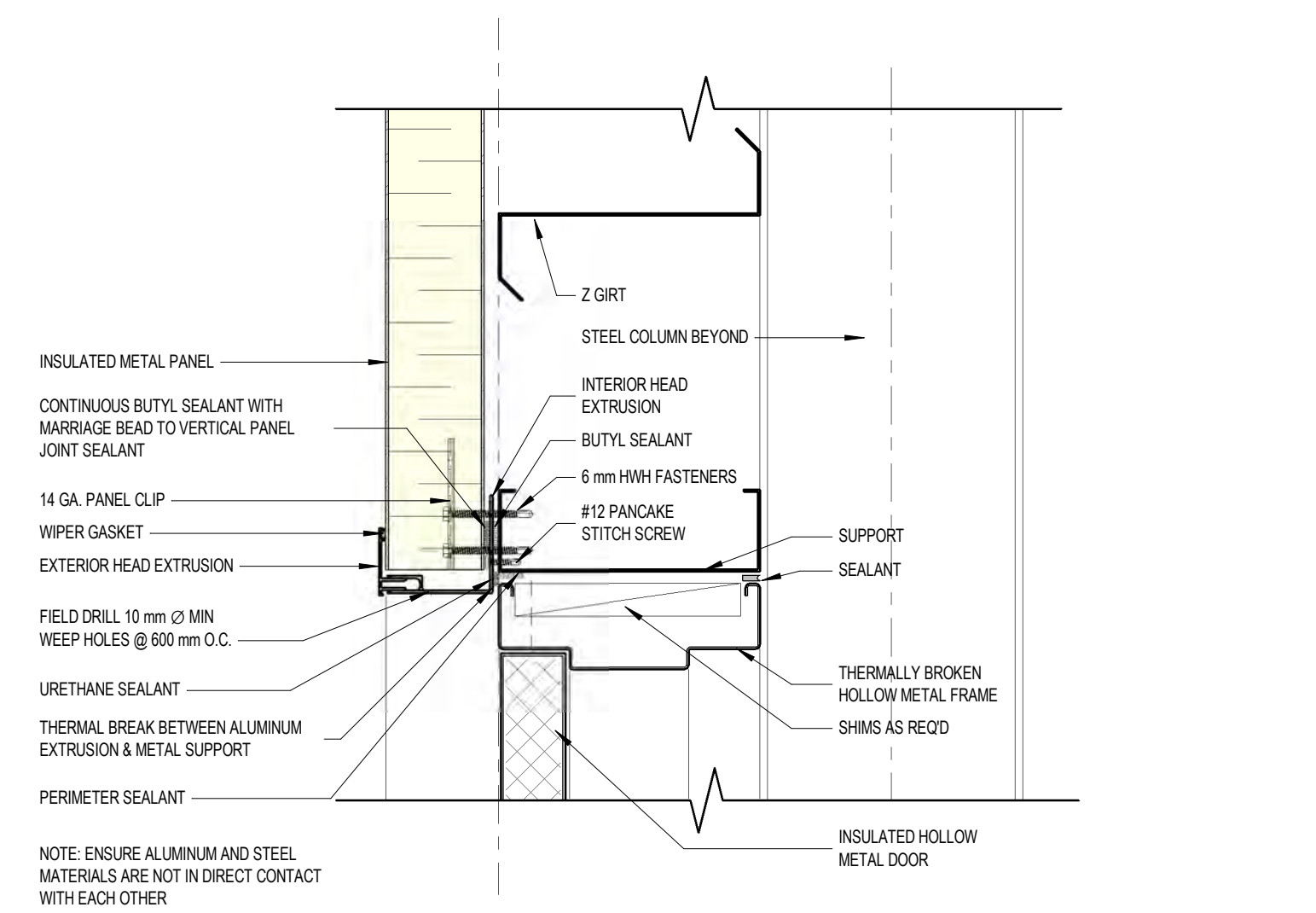
5 DOOR THRESHOLD  
1 : 5



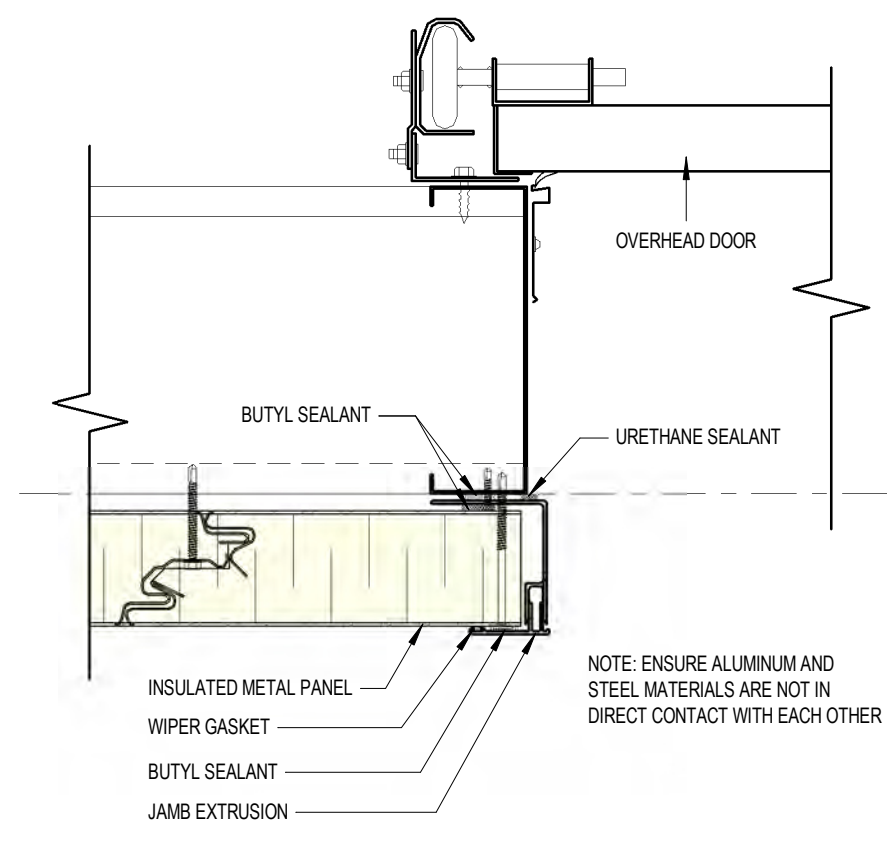
6 IMP DOOR JAMB (OFFICE)  
1 : 5



8 IMP DOOR JAMB (APPARATUS BAY)  
1 : 5

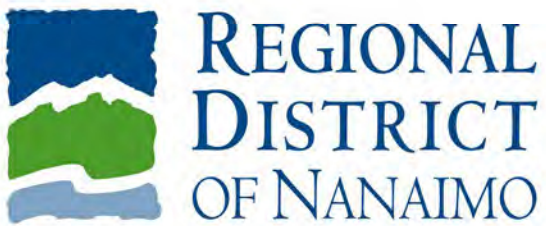


7 IMP DOOR HEAD (APPARATUS BAY)  
1 : 5



9 OVERHEAD DOOR JAMB  
1 : 5

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5	2022-07-22	ISSUED FOR TENDER
4	2022-05-20	ISSUED FOR CLASS A COSTING
3	2022-03-04	ISSUED FOR BUILDING PERMIT

NO.	DATE	DESCRIPTION
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SEAL



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PROJECT TITLE

## DASHWOOD FIRE HALL REPLACEMENT

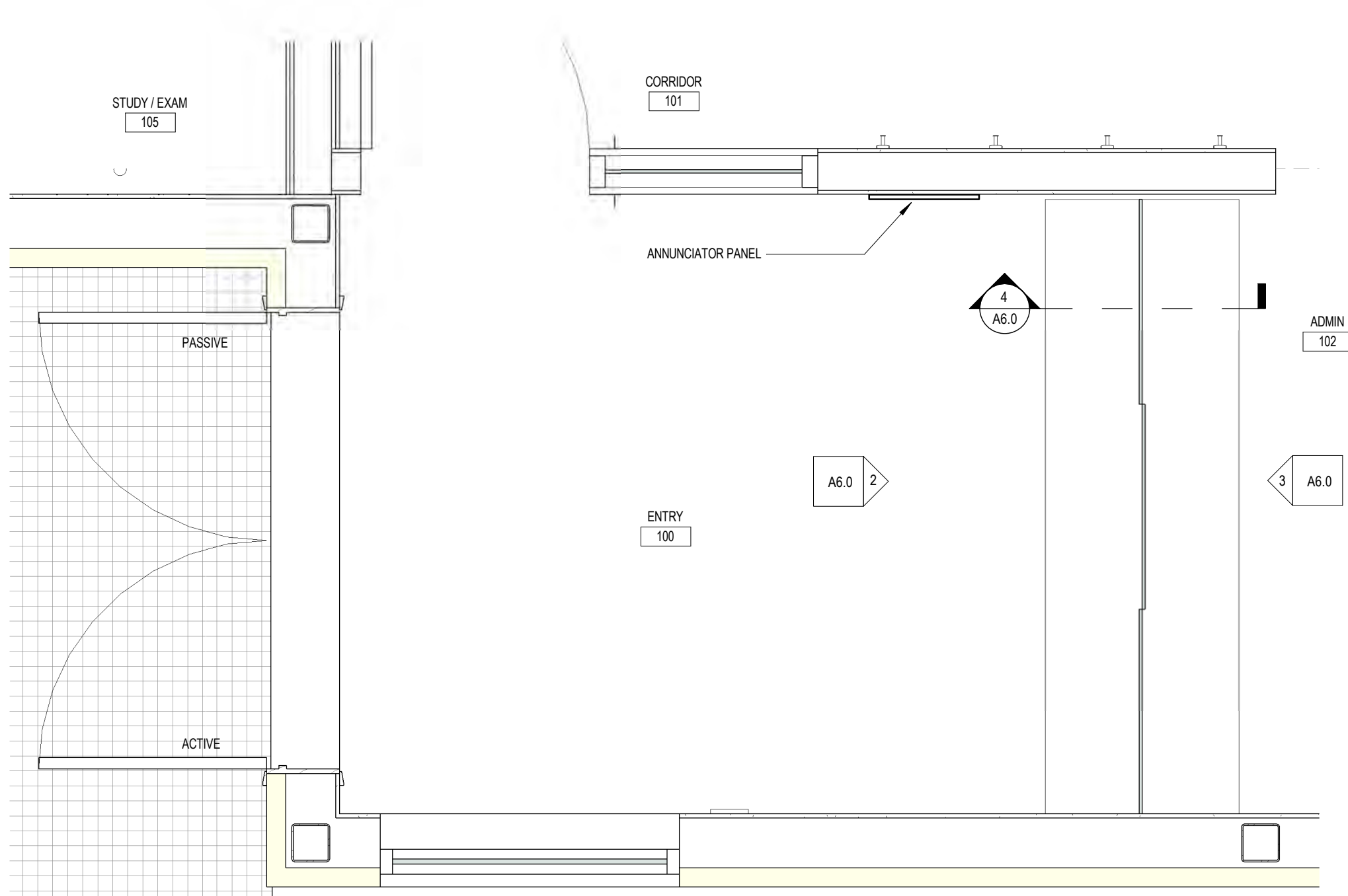
230 HOBBS ROAD  
QUALICUM BEACH BC

SHEET TITLE

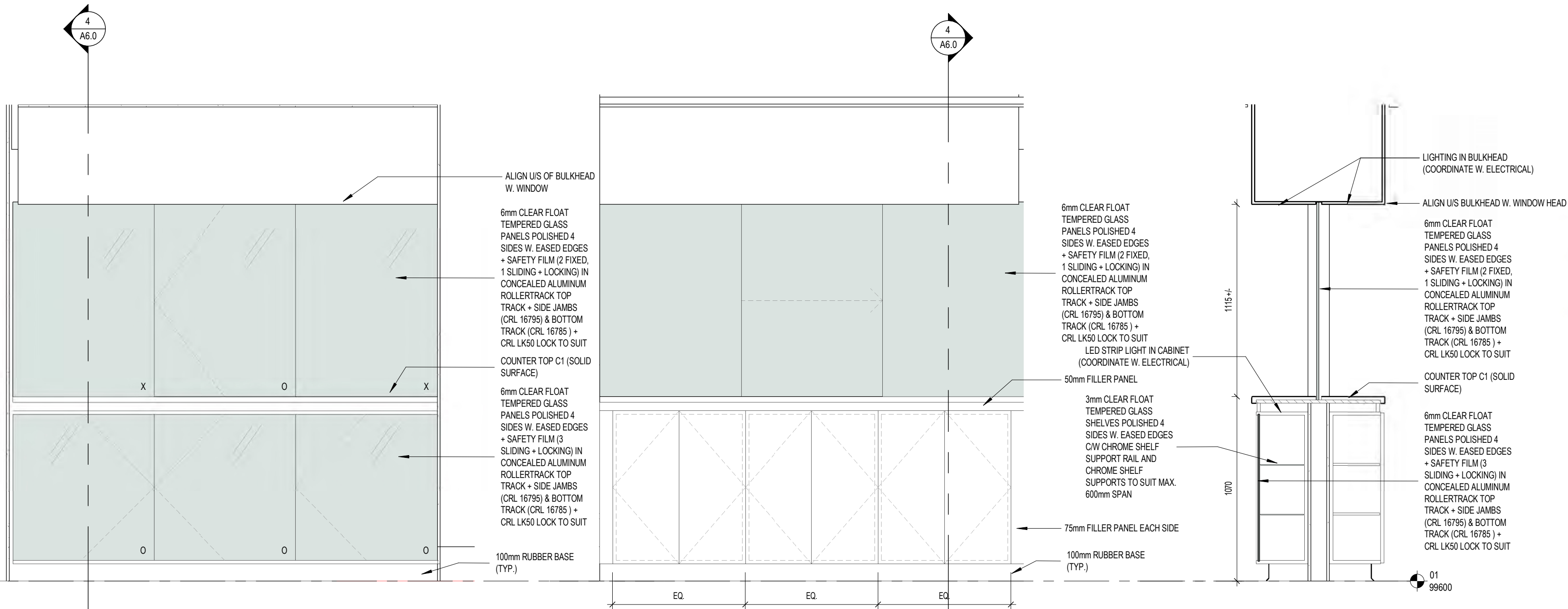
WINDOW & DOOR DETAILS

DATE	2022-01-14	SHEET NO. <b>A5.2</b>
PROJECT NO.	20-007	
SCALE	1 : 5	
DRAWN BY	KD	





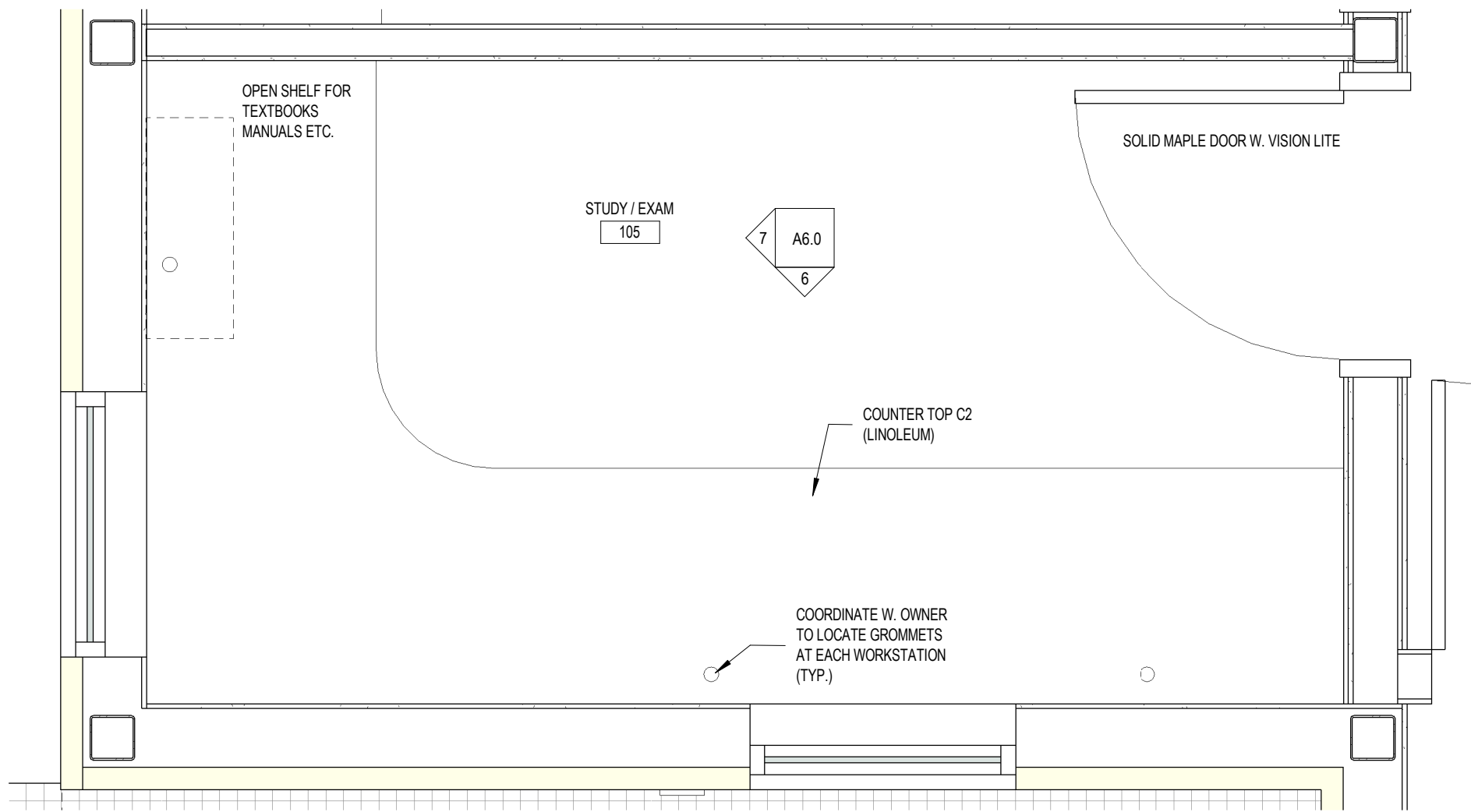
1 ENTRY RECEPTION DESK PLAN  
1 : 20



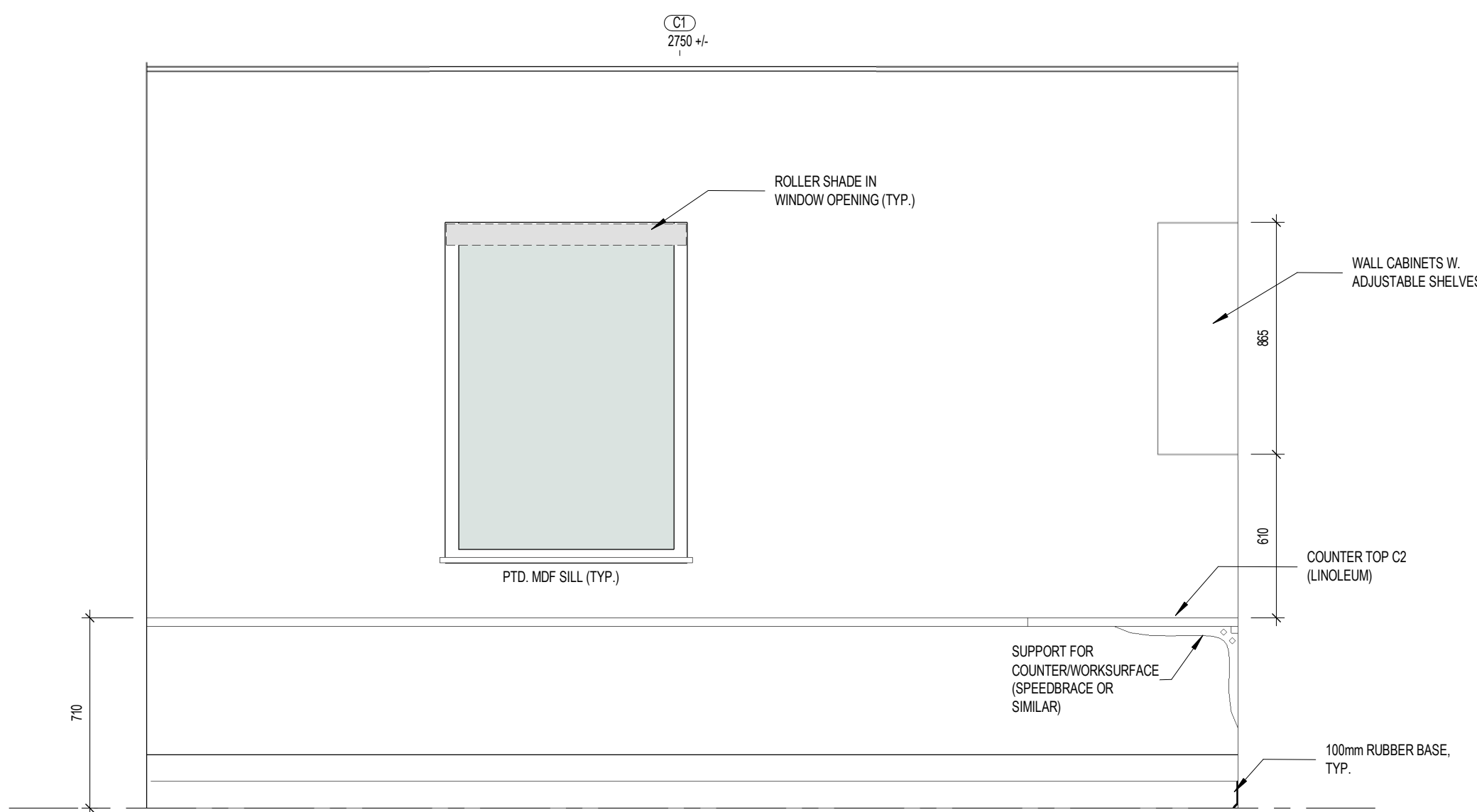
2 RECEPTION DESK - FRONT ELEV.  
1 : 20

3 RECEPTION DESK - BACK ELEV.  
1 : 20

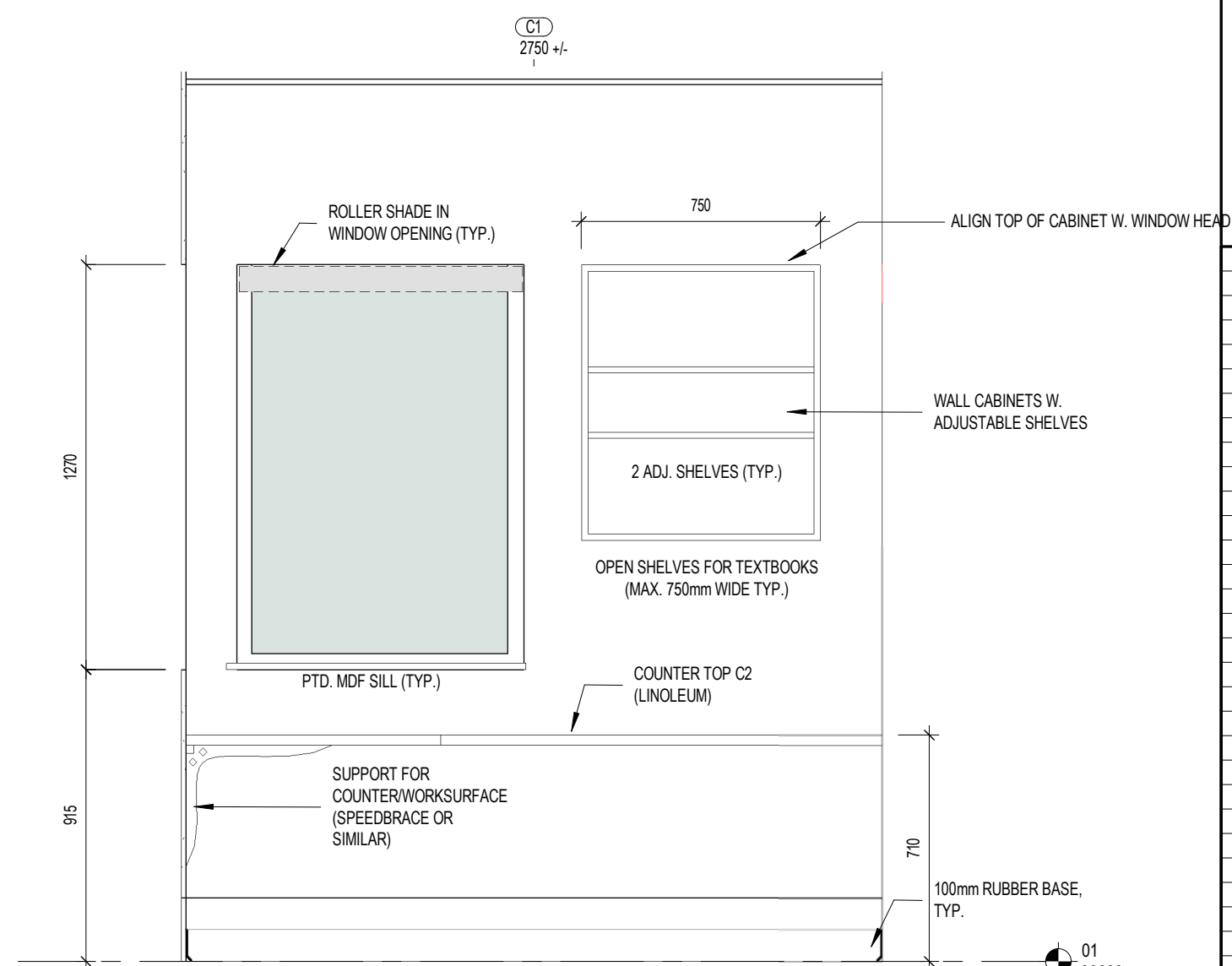
4 RECEPTION DESK  
1 : 20



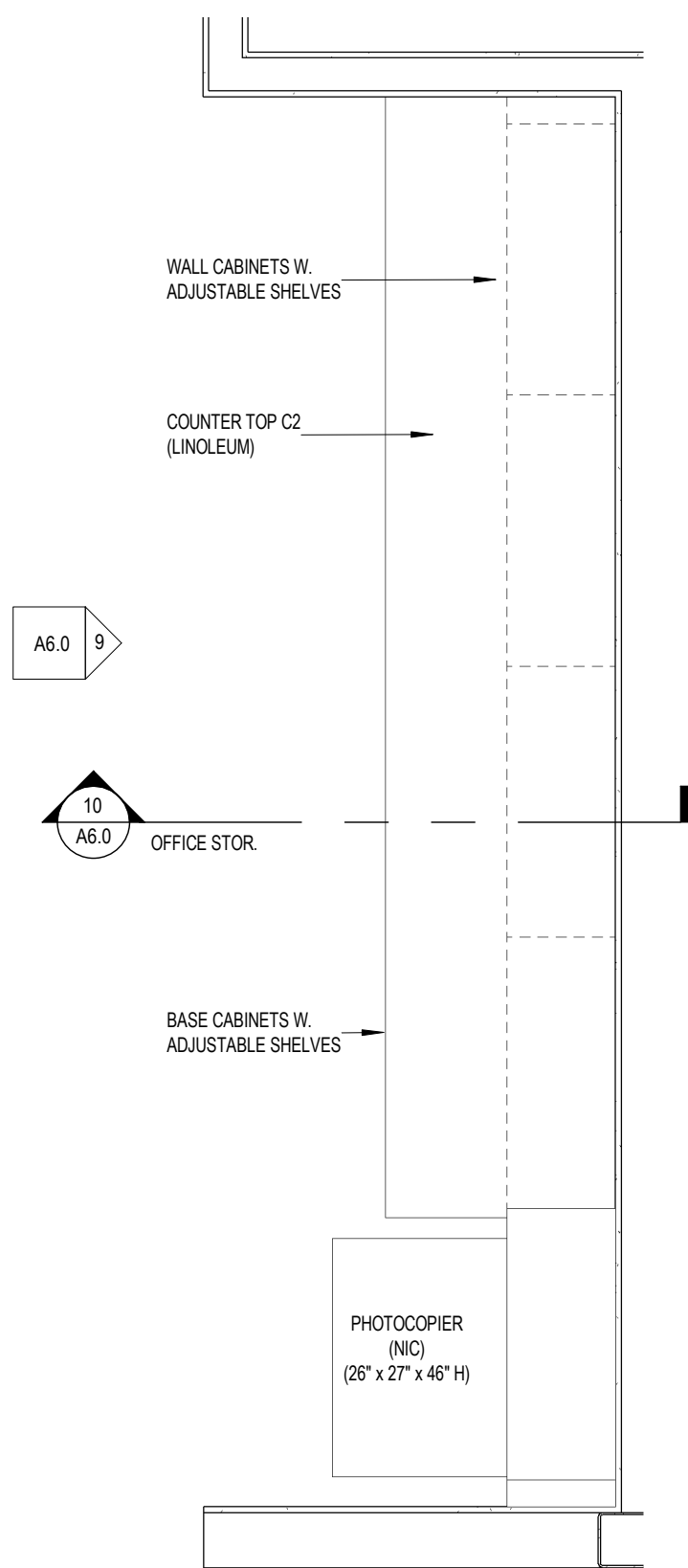
5 STUDY/EXAM PLAN  
1 : 20



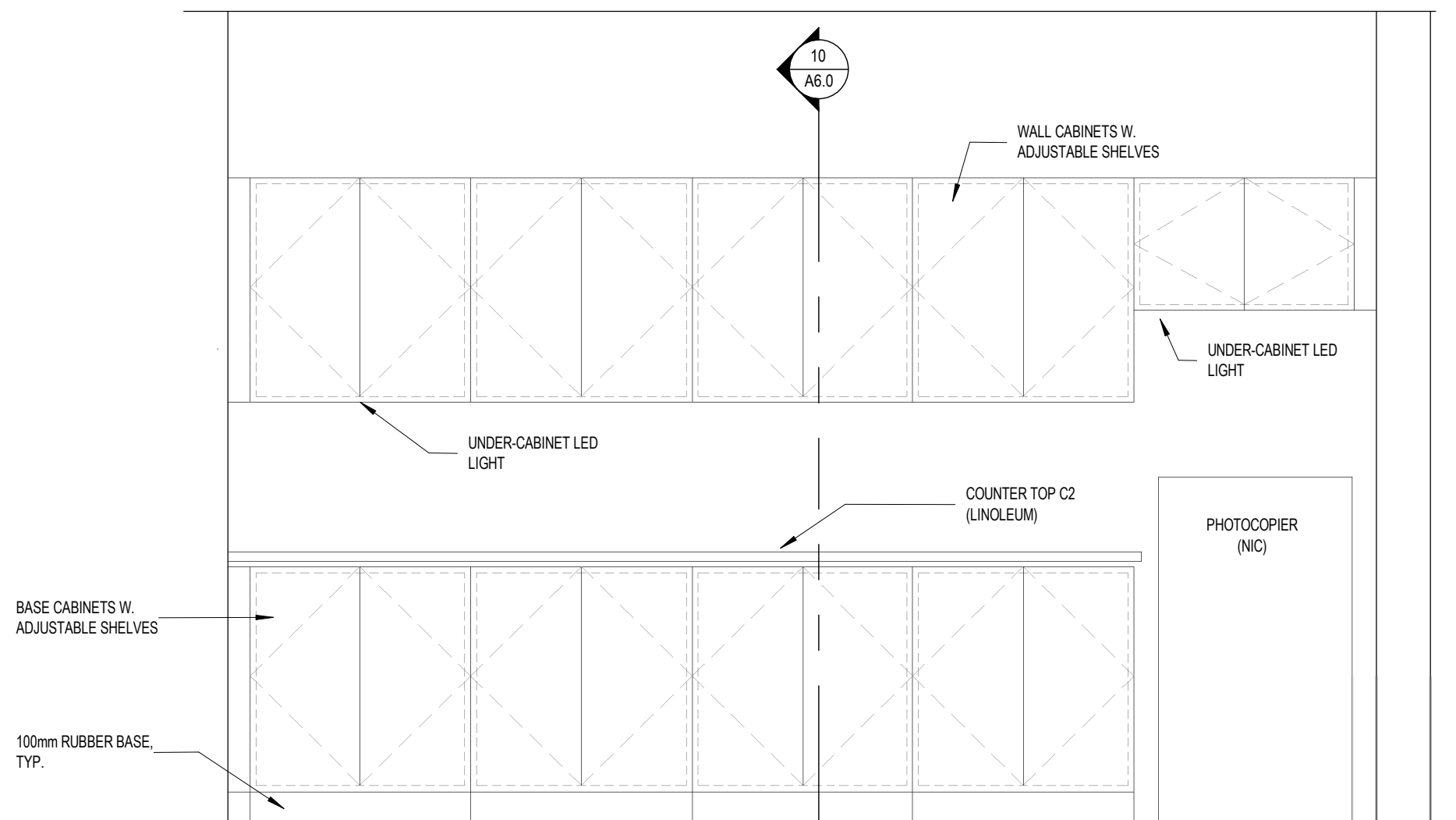
6 STUDY/EXAM ELEV 1  
1 : 20



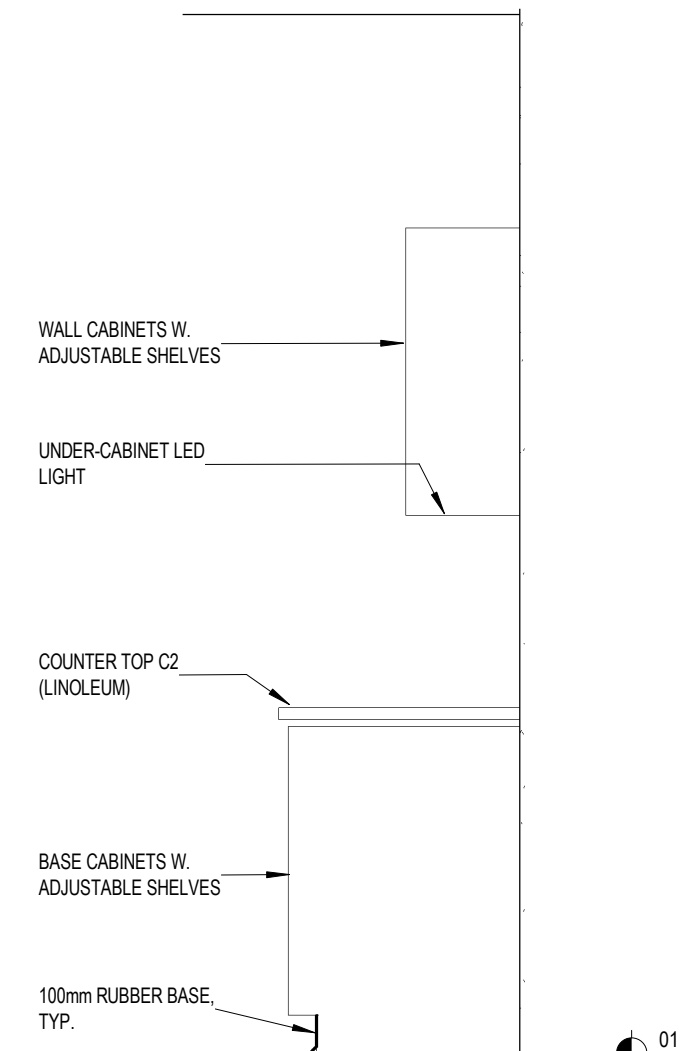
7 STUDY/EXAM ELEV 2  
1 : 20



8 OFFICE STORAGE  
1 : 20

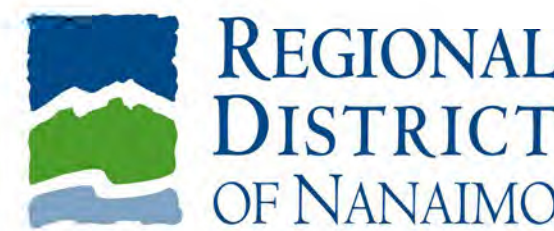


9 OFFICE STORAGE ELEV.  
1 : 20



10 OFFICE STORAGE SECTION  
1 : 20

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## MILLWORK NOTES

1. ALL DRAWERS AND CABINETS TO INCLUDE D-PULL AS SPECIFIED IN 06 41 00. BASE CABINET DOORS/FRONT PULL LOCATED AT TOP OF AND WALL CABINET DOORS TO HAVE PULL FROM BOTTOM.
2. CONTRACTOR TO COORDINATE W. ACTUAL FIXTURES AND APPLIANCES SUPPLIED ON SITE.
3. COUNTER TOPS:
  - C1 = SOLID SURFACE ON 2 LAYERS 19MM PLYWOOD
  - C2 = LINOLEUM ON 2 LAYERS 19MM PLYWOOD C/W BALANCING SHEET PER MANUFACTURER'S SPECIFICATION
  - C3 = STAINLESS STEEL ON 2 LAYERS 19MM PLYWOOD W. MARINE EDGE AND INTEGRAL SINK AS INDICATED

5	2022-07-22	ISSUED FOR TENDER
4	2022-05-20	ISSUED FOR CLASS A COSTING

NO.	DATE	DESCRIPTION
-----	------	-------------

SEAL



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## DASHWOOD FIRE HALL REPLACEMENT

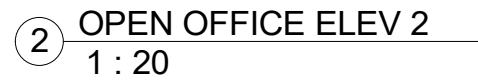
230 HOBBS ROAD  
QUALICUM BEACH BC

SHEET TITLE

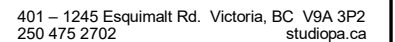
MILLWORK - ENTRY AND OFFICE

DATE	2022-01-14	SHEET NO. <b>A6.0</b>
PROJECT NO.	20-007	
SCALE	As Indicated	
DRAWN BY	AW	



[illegible]

NO.	DATE	DESCRIPTION



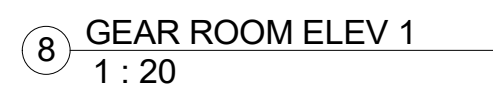
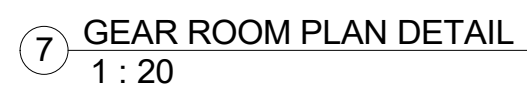
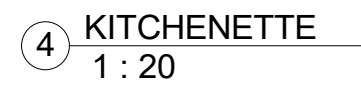
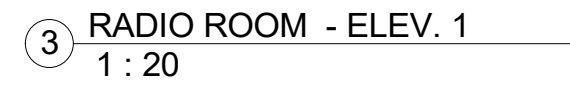
DATE	2022-01-14	SHEET NO.  <b>A6.1</b>
PROJECT NO.	20-007	
SCALE	1 : 20	
DRAWN BY	Author	

## A6.1





REGIONAL  
DISTRICT  
OF NANAIMO



5	2022-07-22	ISSUED FOR TENDER
4	2022-05-20	ISSUED FOR CLASS A COSTING

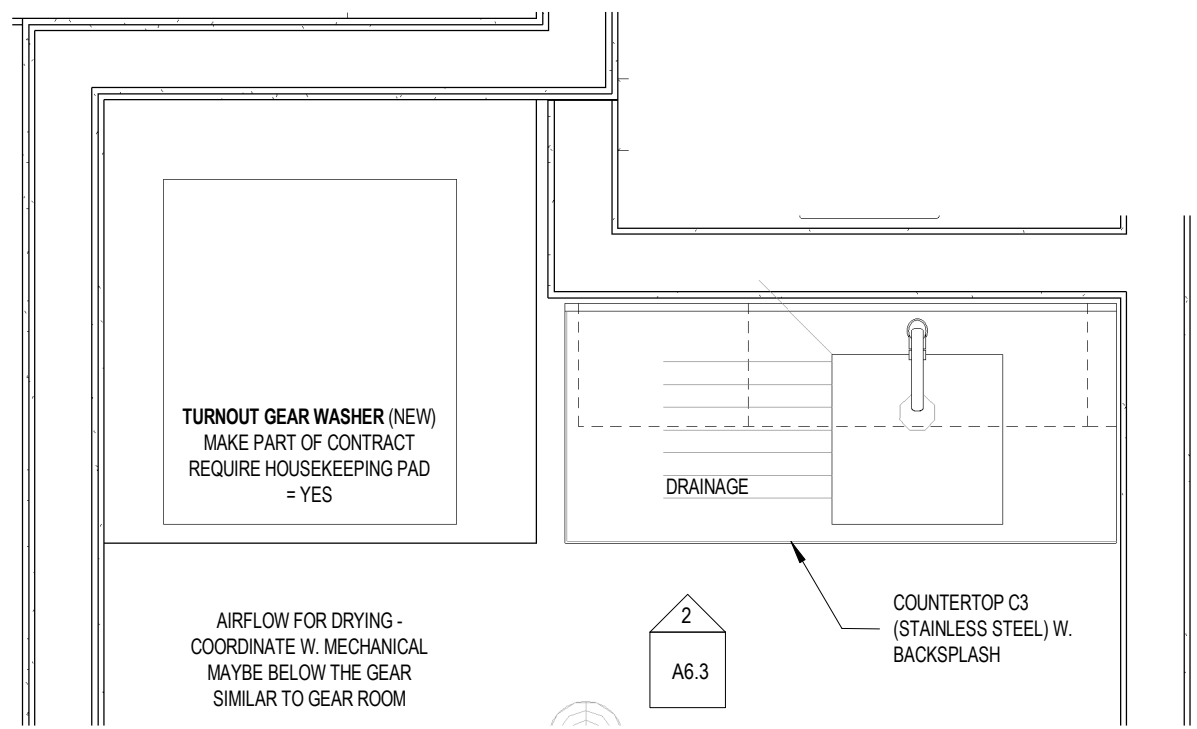
SEAL

230 HOBBS ROAD  
QUALICUM BEACH BC

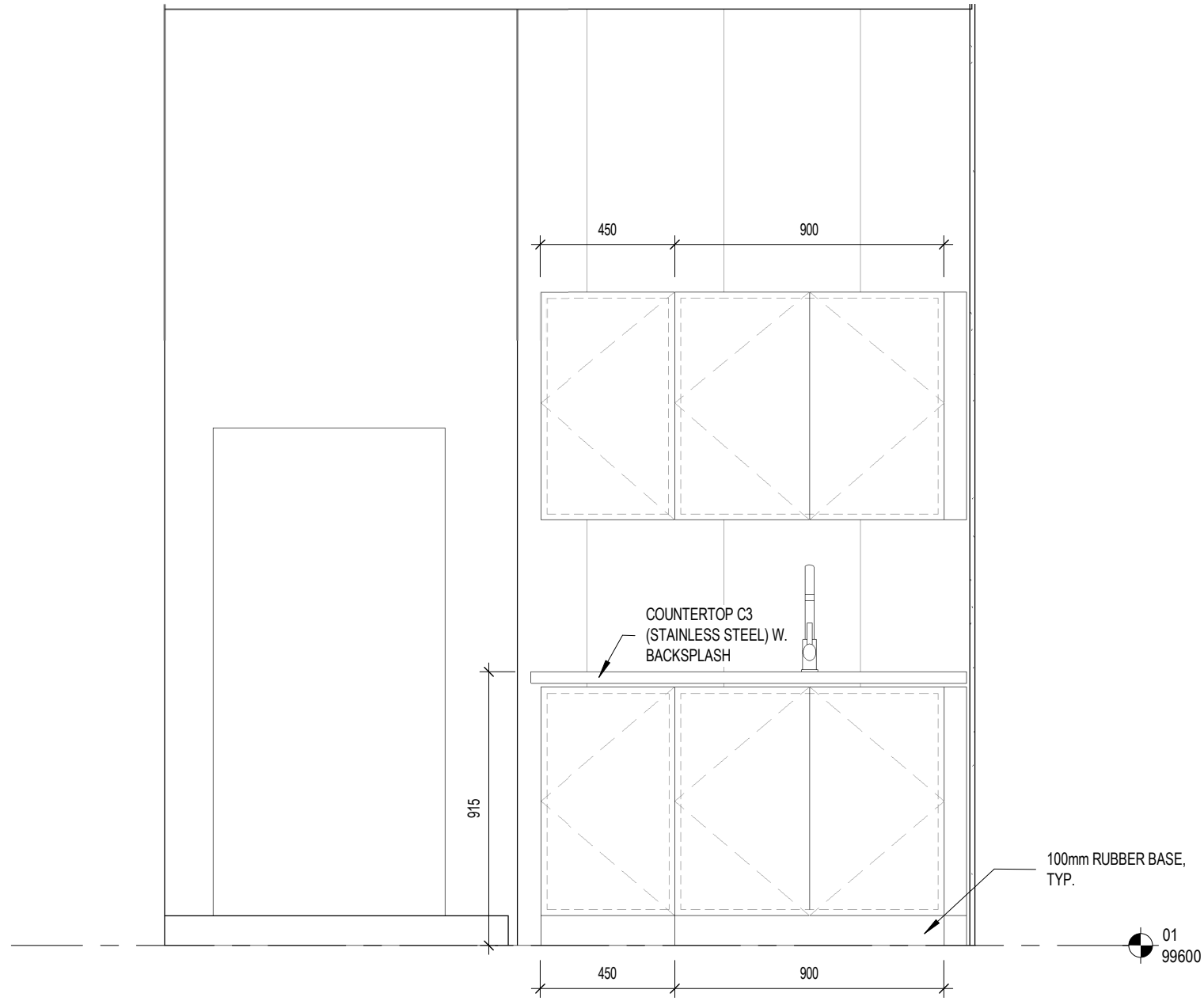
MILLWORK - SUPPORT AREAS

DATE	2022-01-14	SHEET NO.  <b>A6.2</b>
PROJECT NO.	20-007	
SCALE	1 : 20	
DRAWN BY	LK	

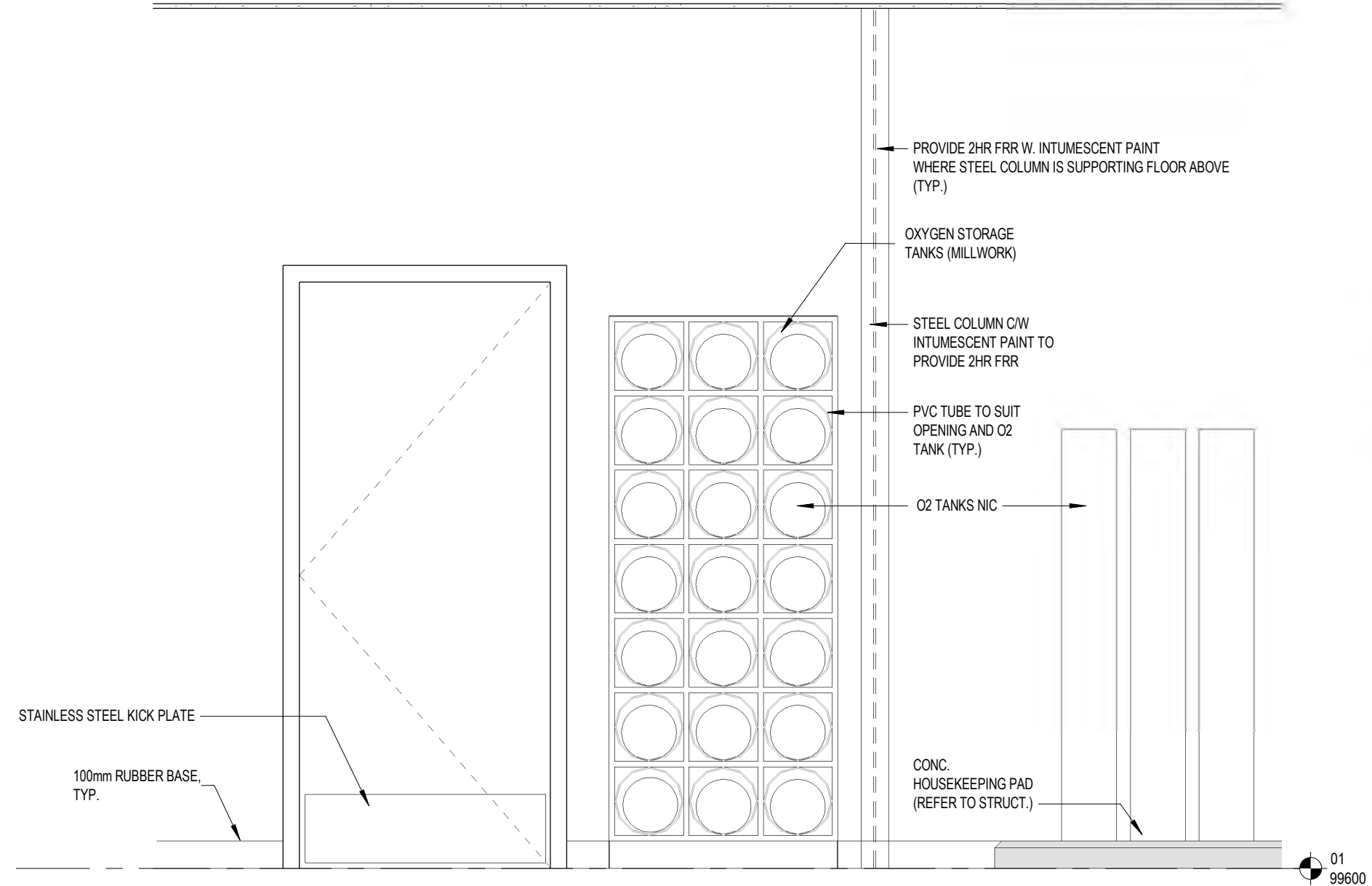




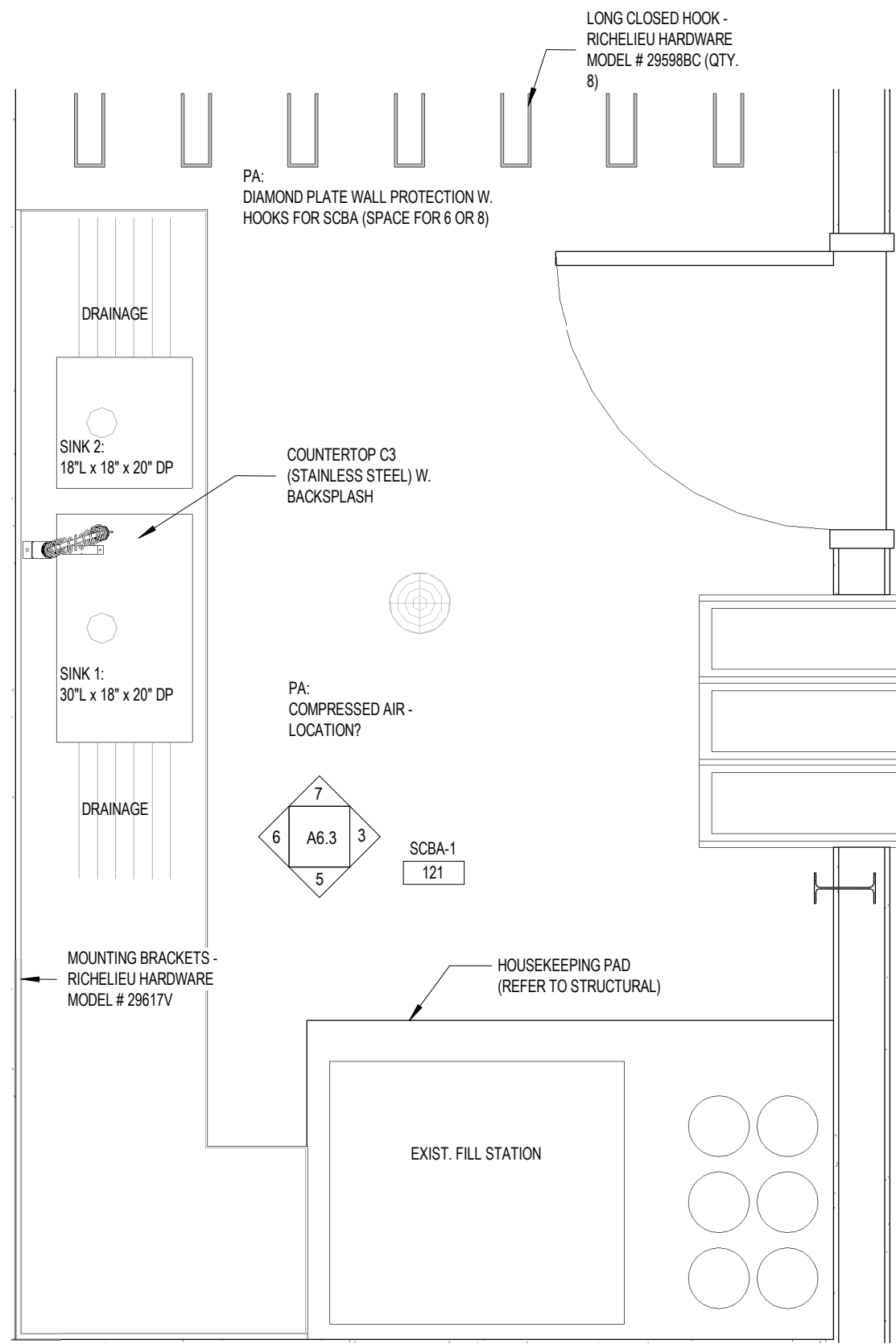
1 LAUNDRY PLAN  
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2 LAUNDRY ELEV 1  
1 : 20



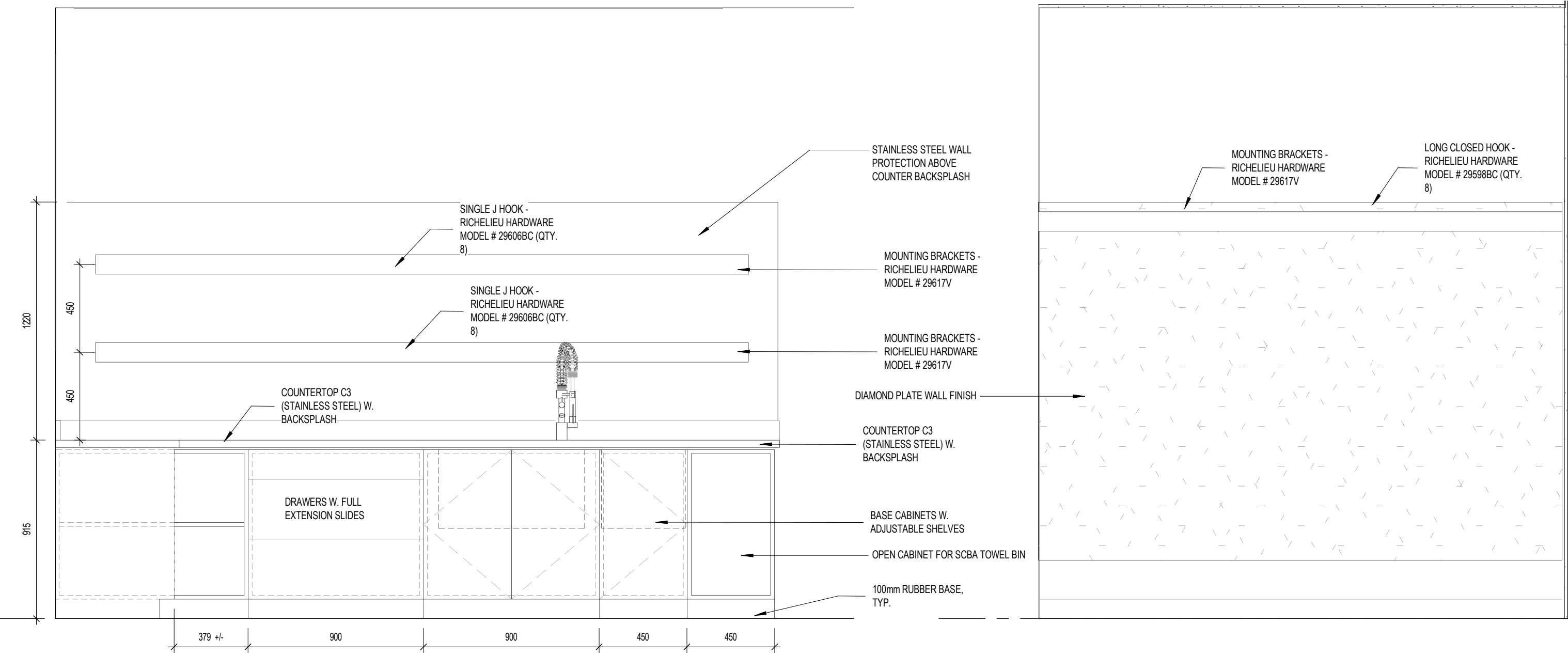
3 SCBA ELEV 3  
1 : 20



4 SCBA-1 PLAN DETAIL  
1 : 20

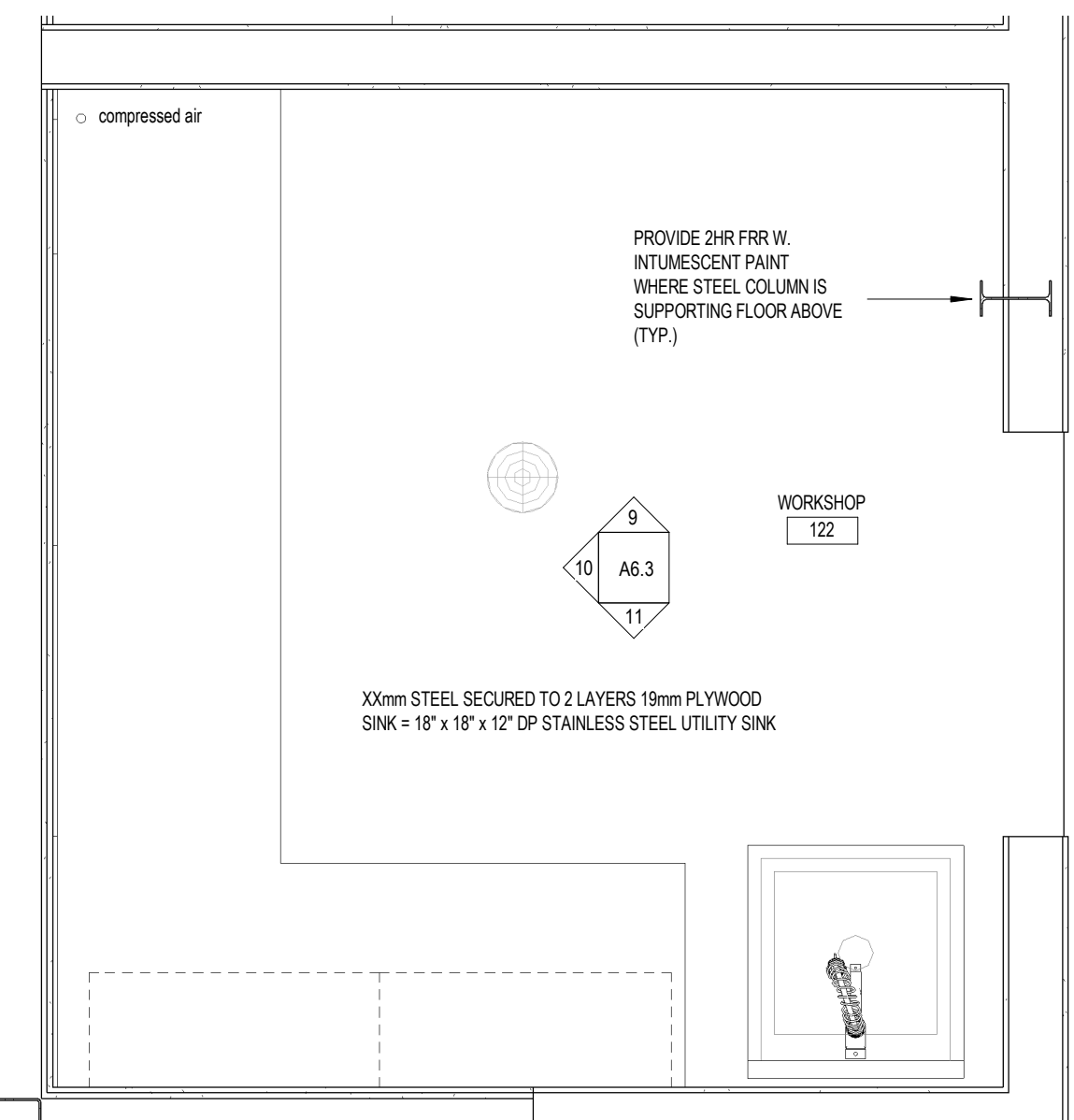


5 SCBA ELEV 2  
1 : 20

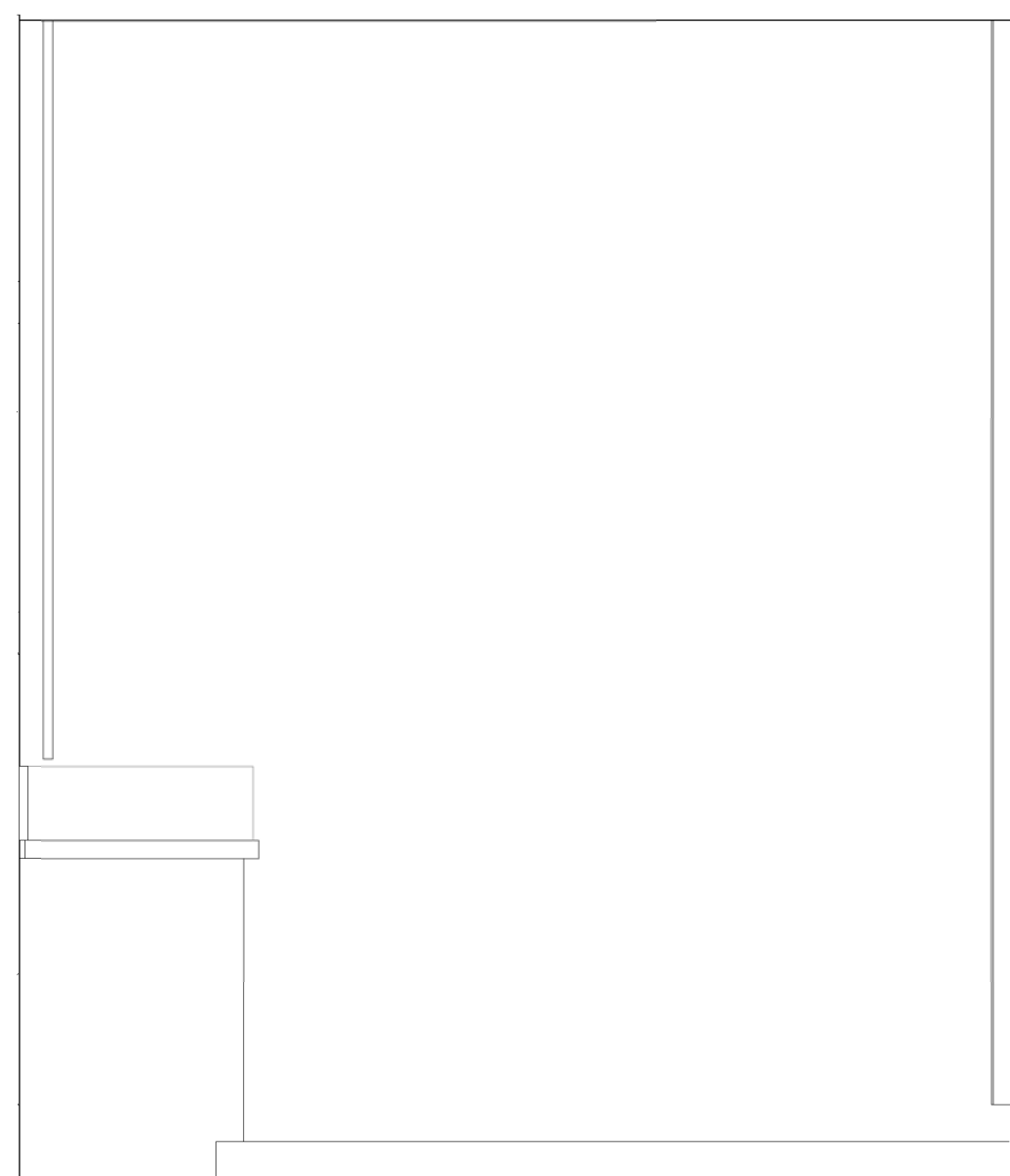


6 SCBA ELEV 1  
1 : 20

7 SCBA ELEV 4  
1 : 20



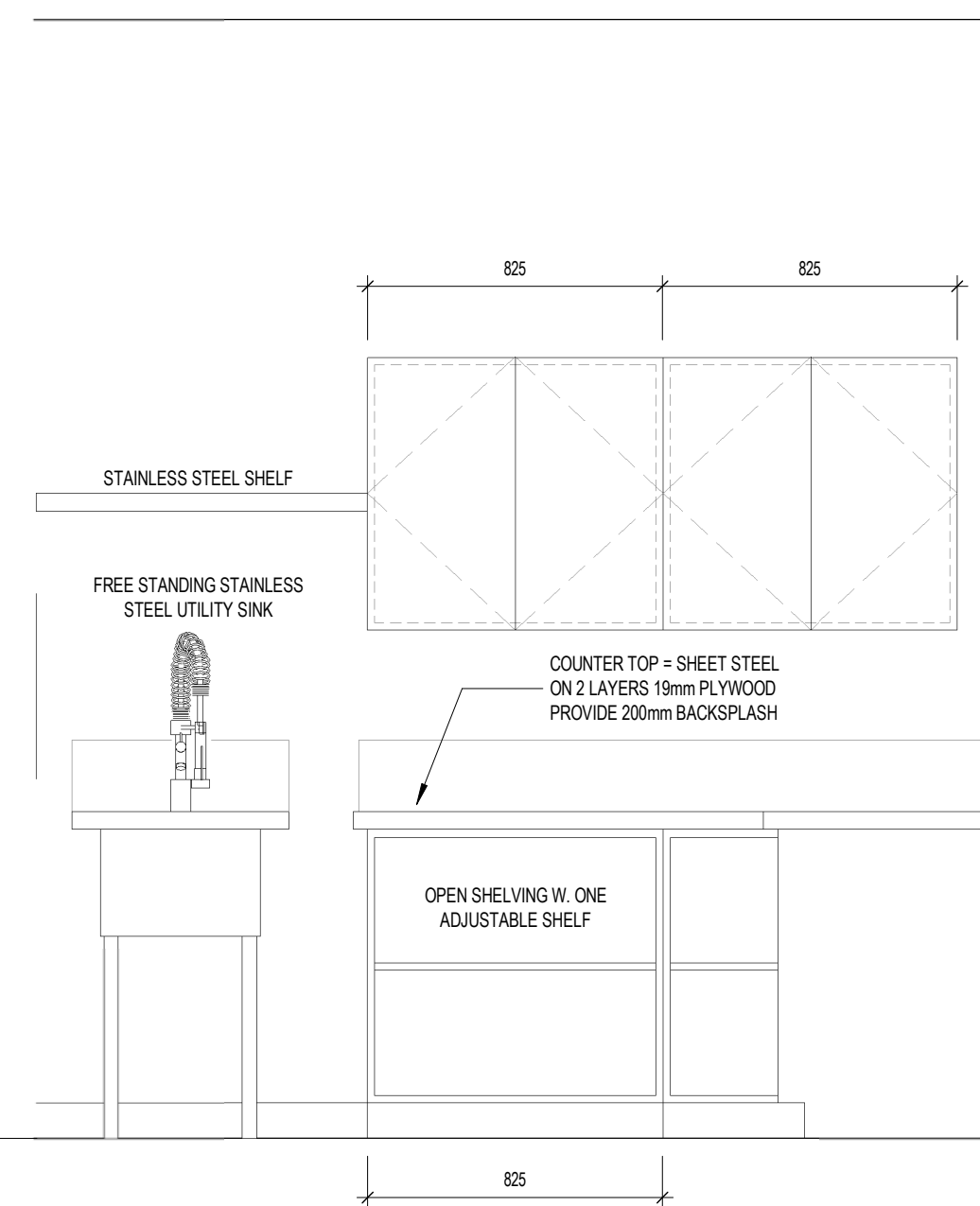
8 WORKSHOP PLAN DETAIL  
1 : 20



9 WORKSHOP - ELEV. 1  
1 : 20

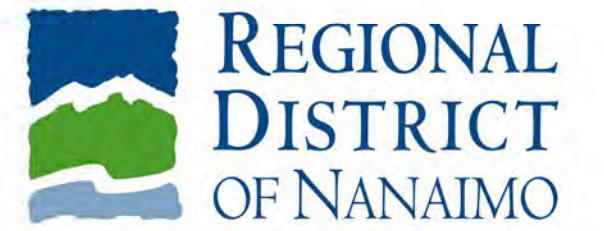


10 WORKSHOP - ELEV. 2  
1 : 20

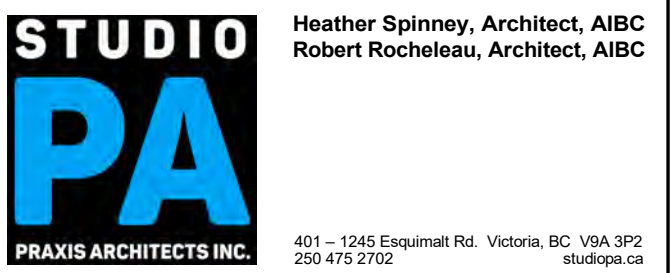


11 WORKSHOP - ELEV. 3  
1 : 20

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NO.	DATE	DESCRIPTION
5	2022-07-22	ISSUED FOR TENDER
4	2022-05-20	ISSUED FOR CLASS A COSTING
NO.	01	DATE
SEAL	99600	



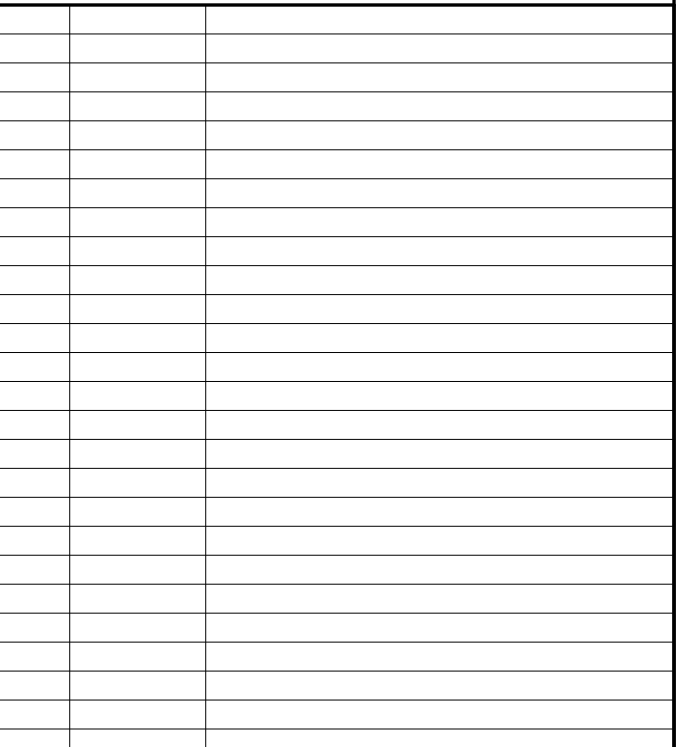
PROJECT TITLE  
**DASHWOOD FIRE HALL REPLACEMENT**  
230 HOBBS ROAD  
QUALICUM BEACH BC  
SHEET TITLE  
**MILLWORK - APPARATUS BAYS SUPPORT**

DATE	2022-01-14	SHEET NO.
PROJECT NO.	20-007	A6.3
SCALE	1 : 20	
DRAWN BY	Author	





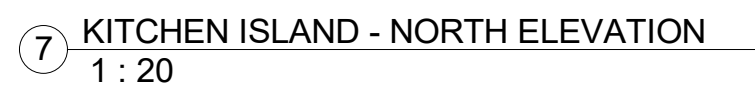
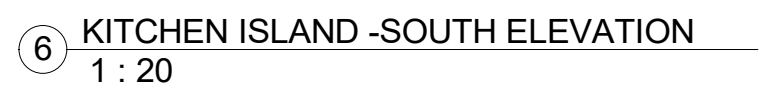
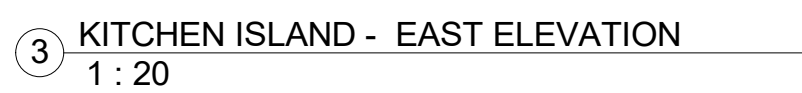
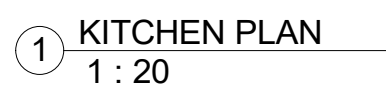
REGIONAL  
DISTRICT  
OF NANAIMO



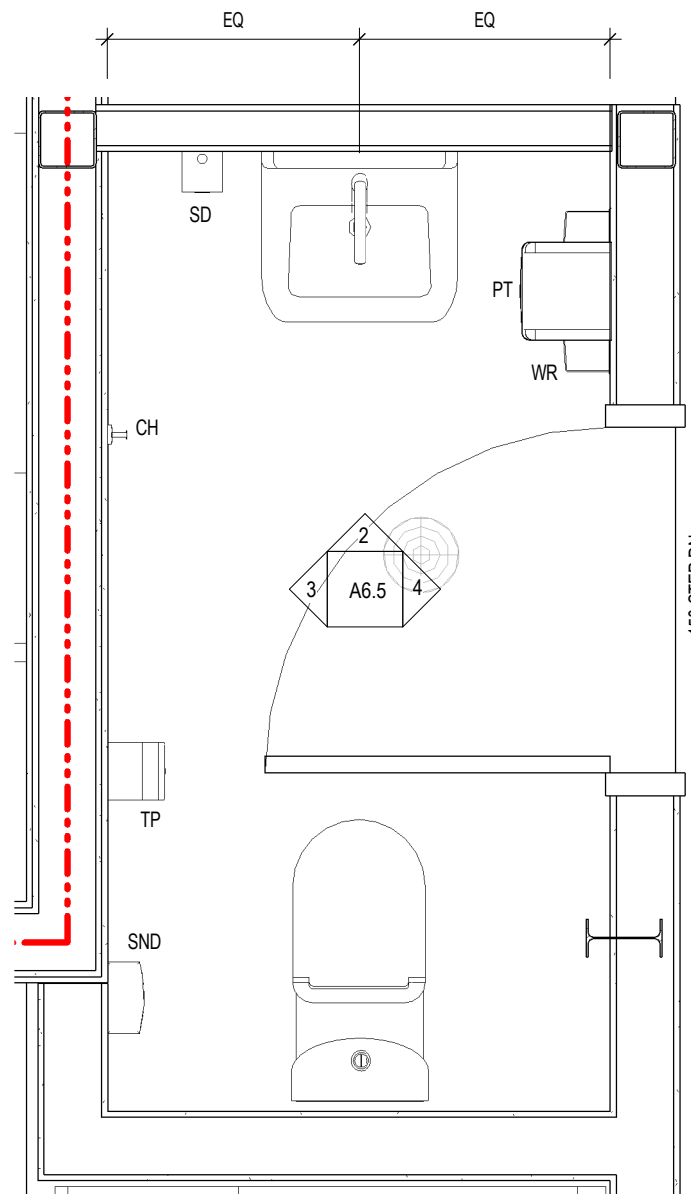
NO.	DATE	DESCRIPTION
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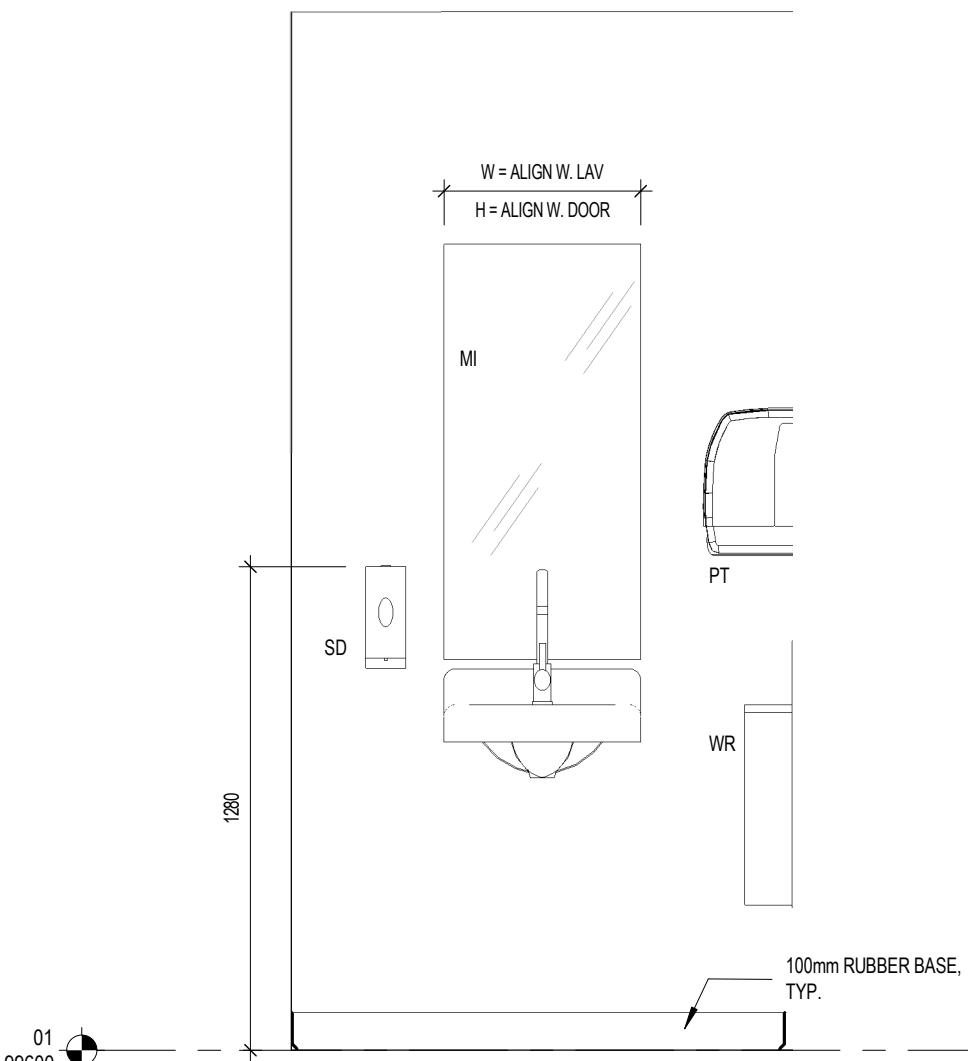
DATE	2022-01-14	SHEET NO.  <b>A6.4</b>
PROJECT NO.	20-007	
SCALE	1 : 20	
DRAWN BY	Author	



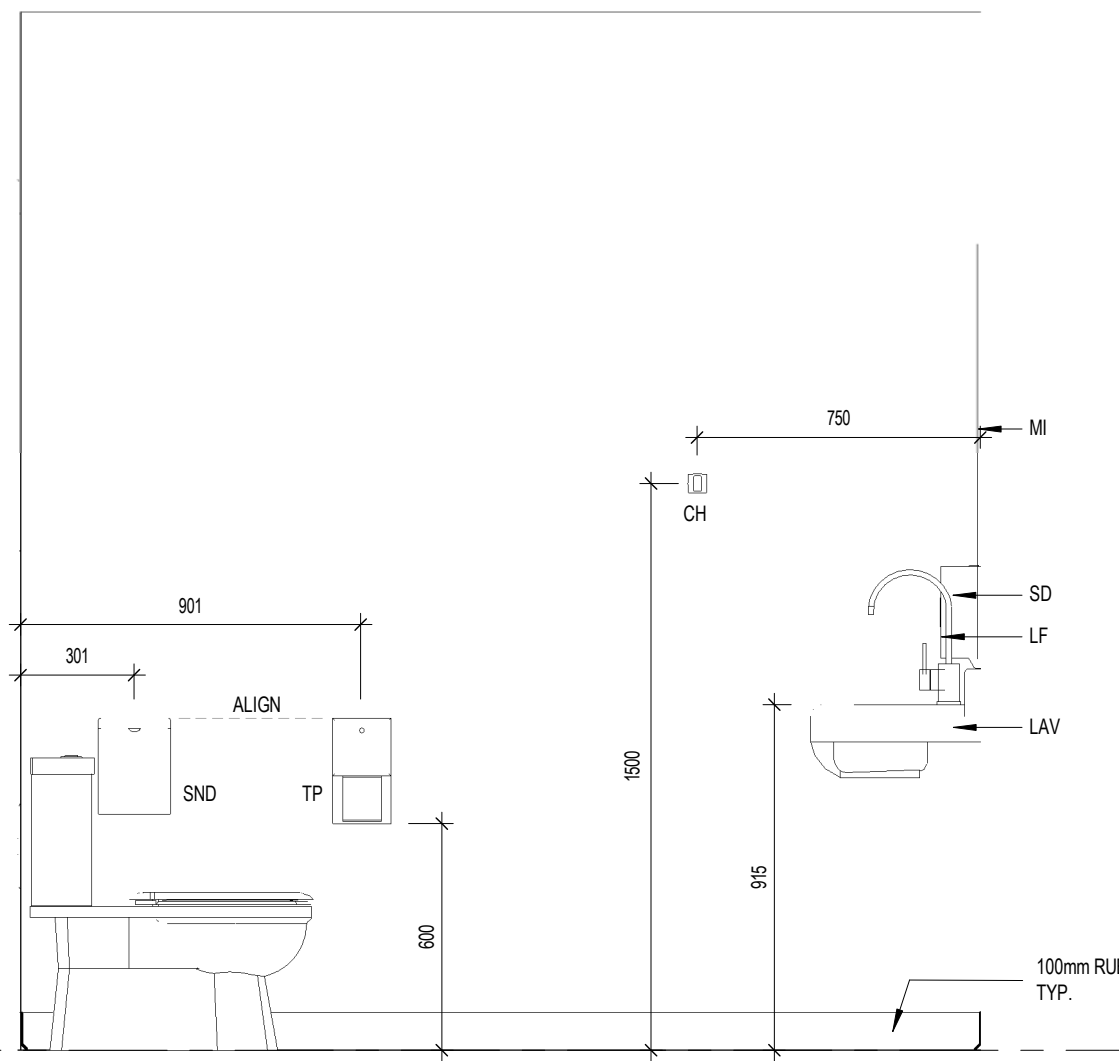




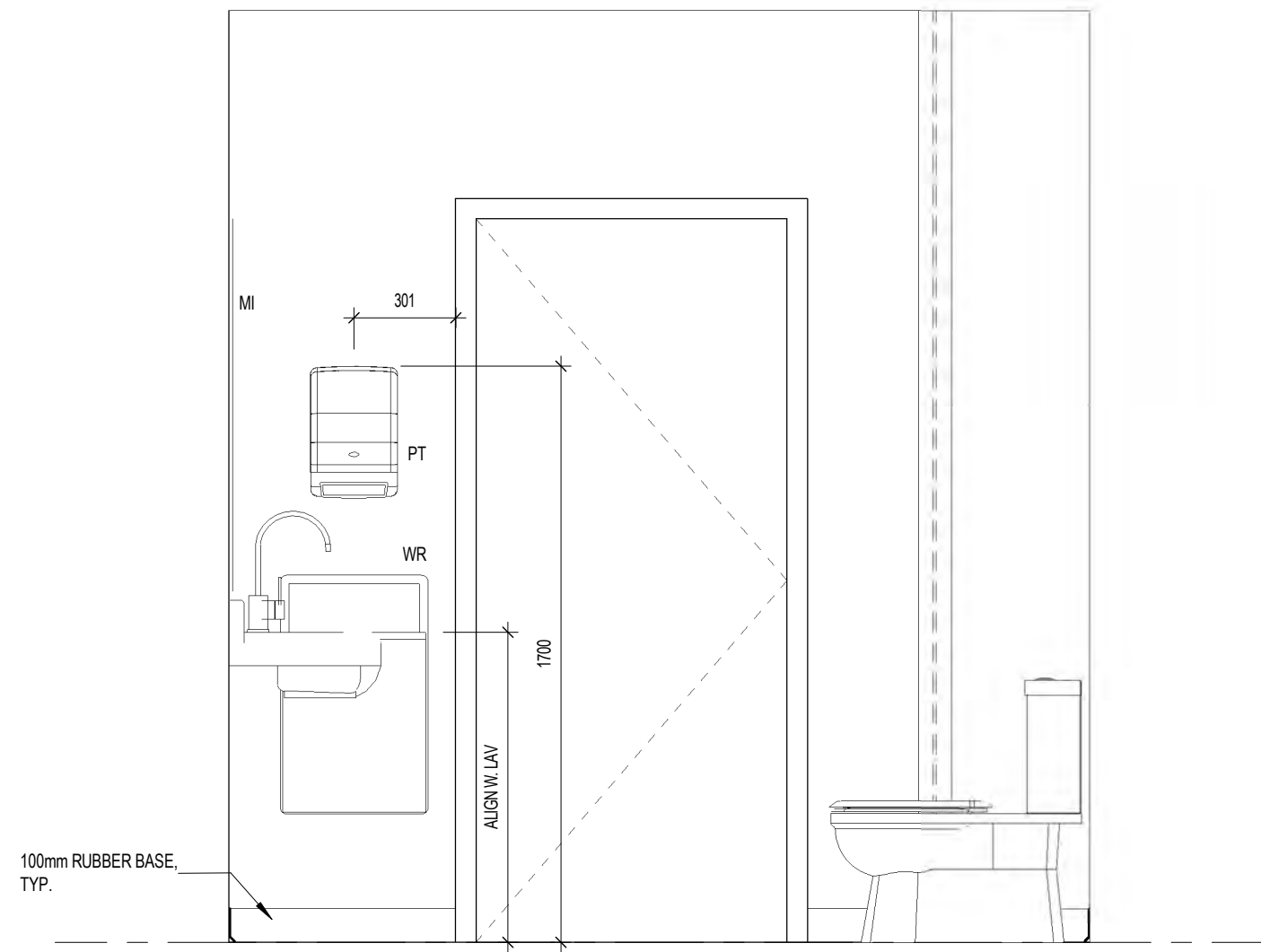
1 WC - APPARATUS BAY  
1 : 20



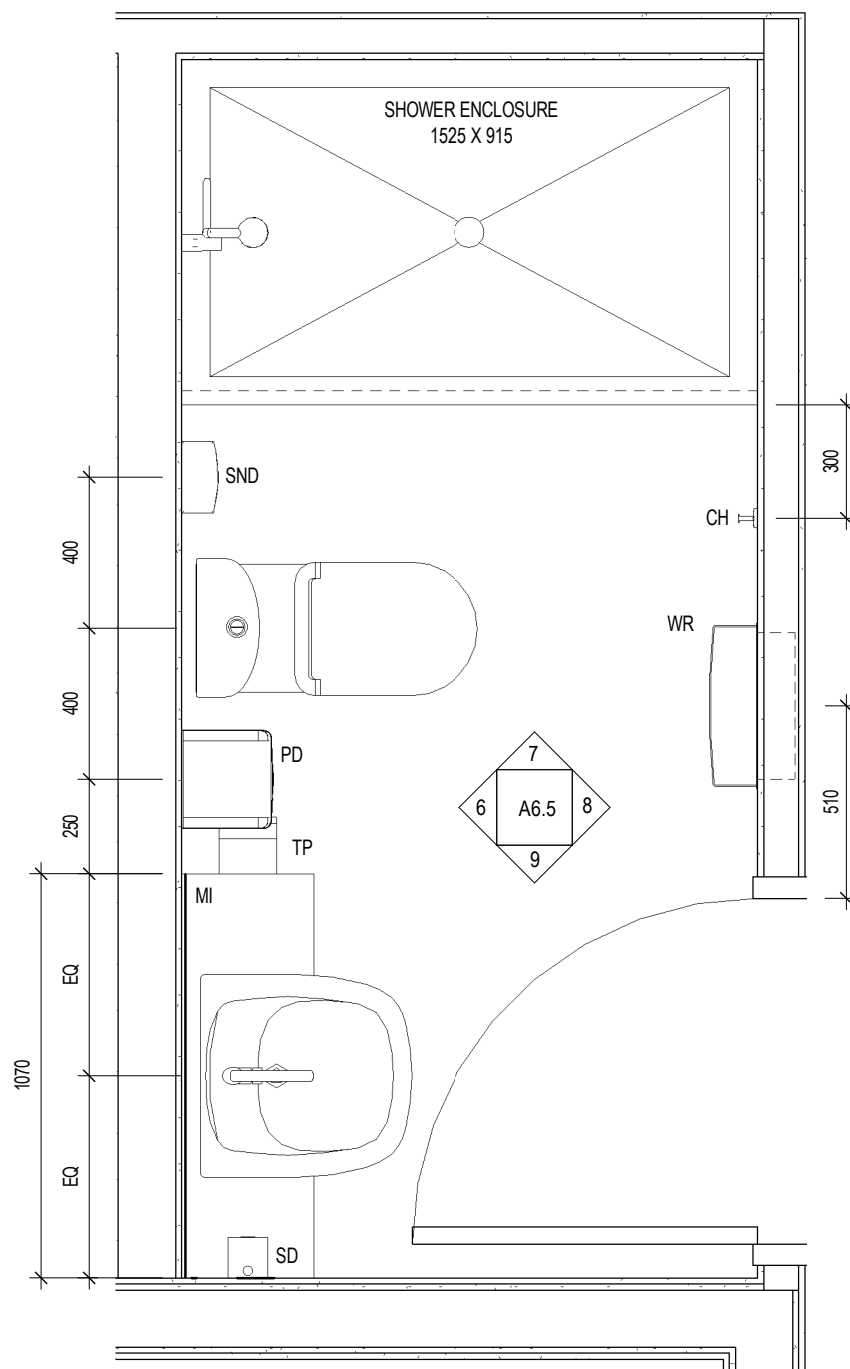
2 WC - APPARATUS BAY - ELEV 1  
1 : 20



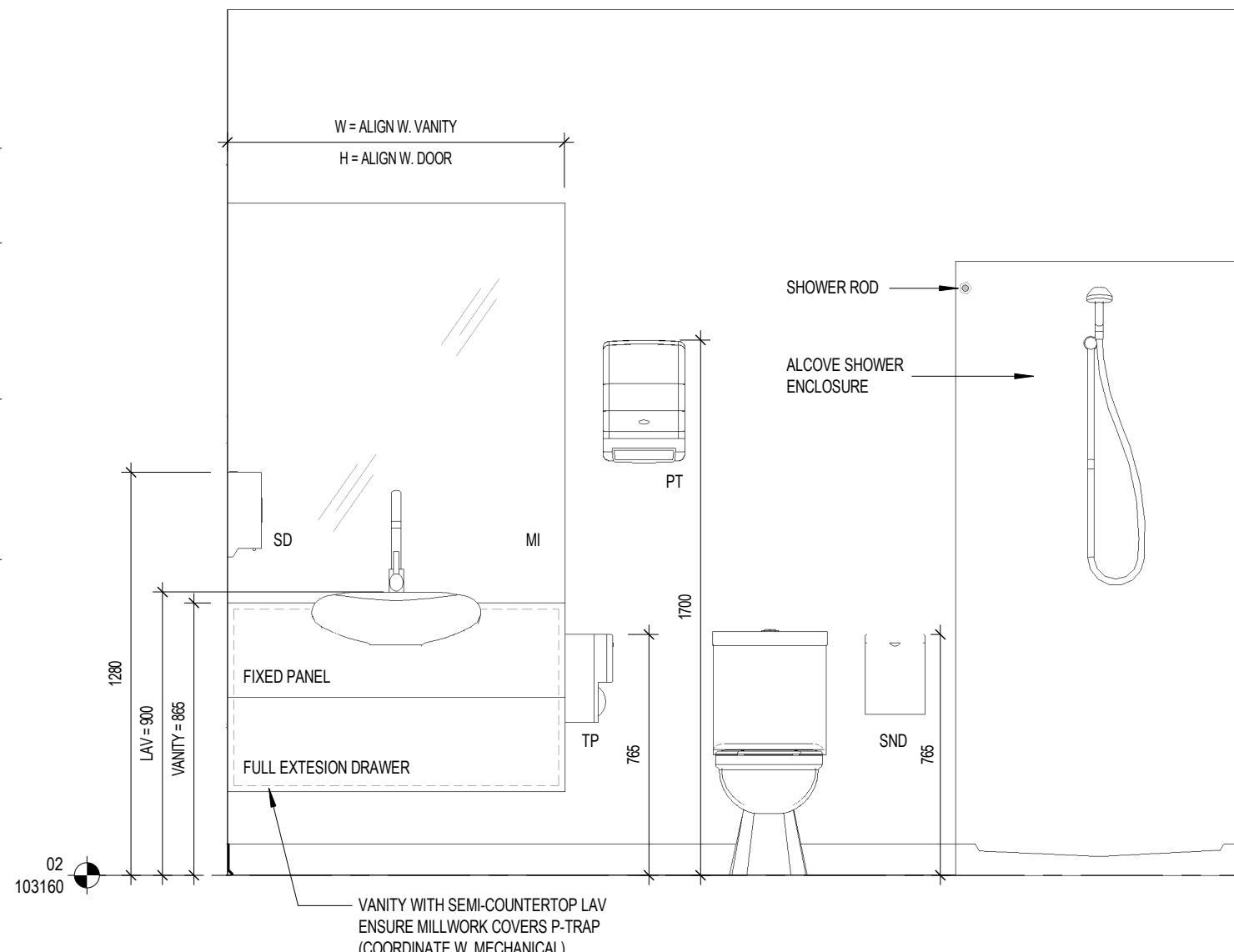
3 WC - APPARATUS BAY - ELEV 2  
1 : 20



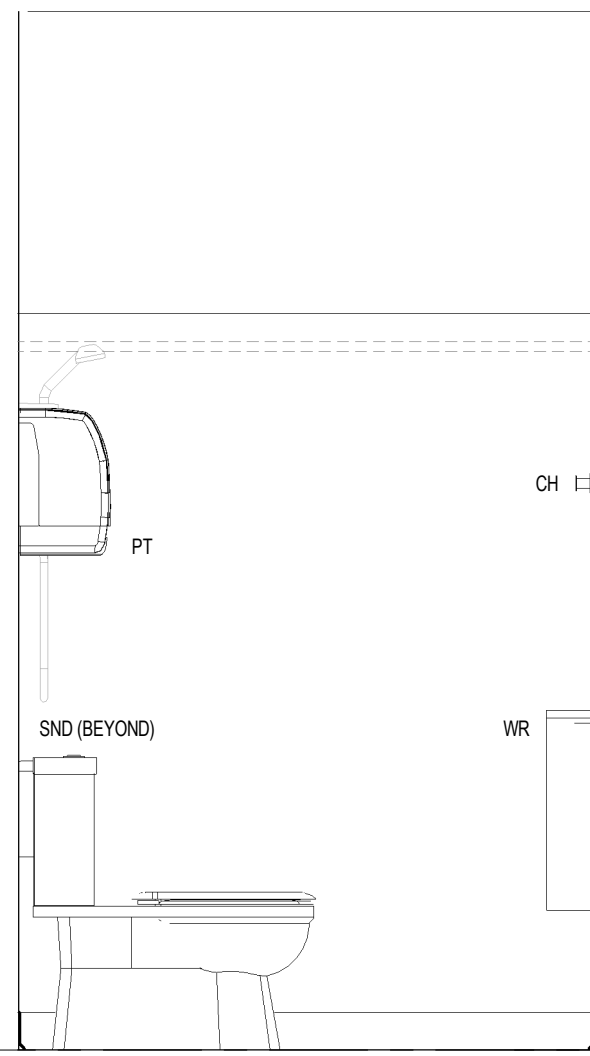
4 WC - APPARATUS BAY - ELEV 3  
1 : 20



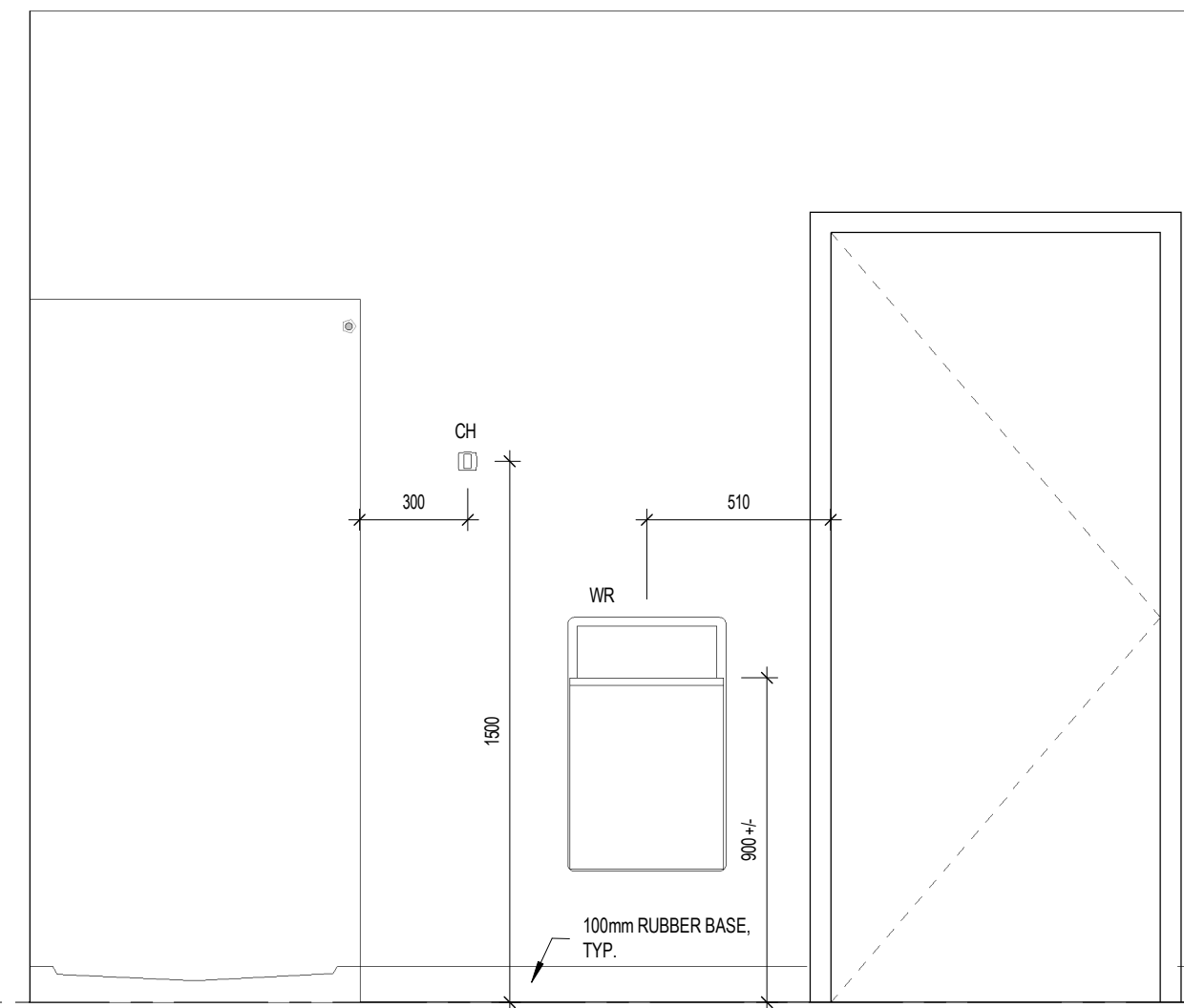
5 TYPICAL W.C. + SHOWER (L2)  
1 : 20



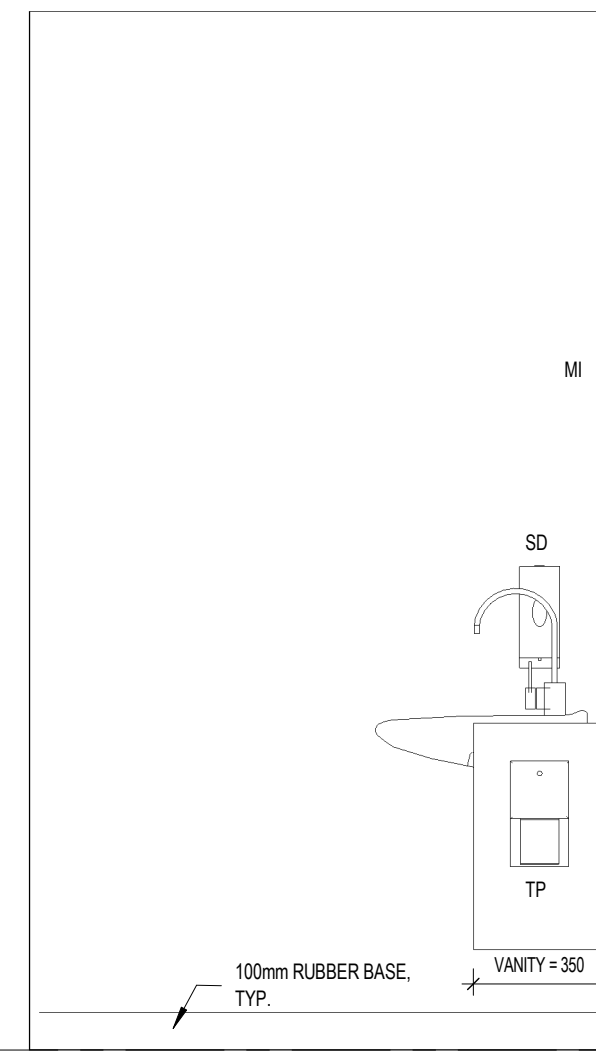
6 WC + SHOWER (L2) - ELEV 1  
1 : 20



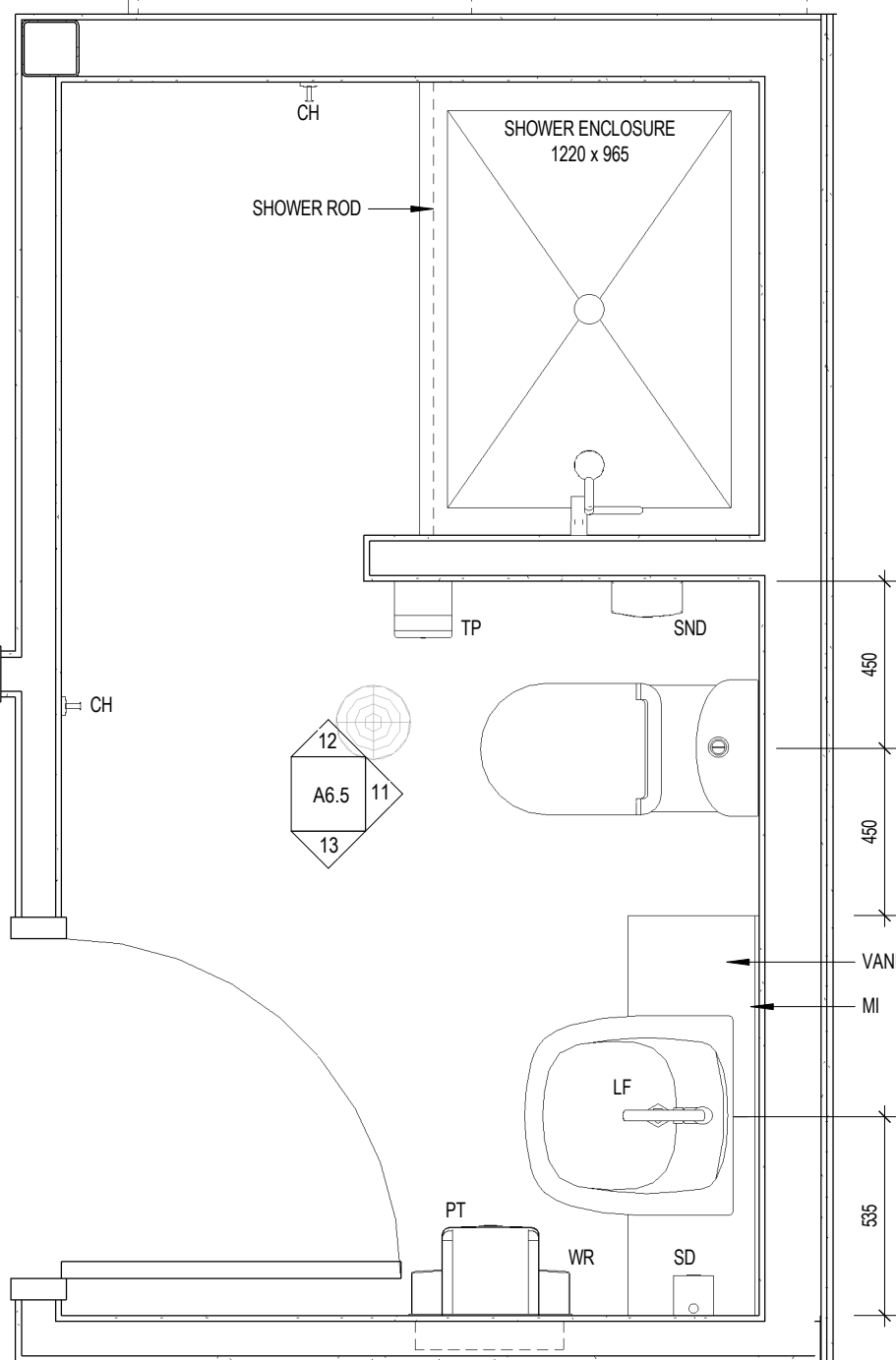
7 WC + SHOWER (L2) - ELEV 2  
1 : 20



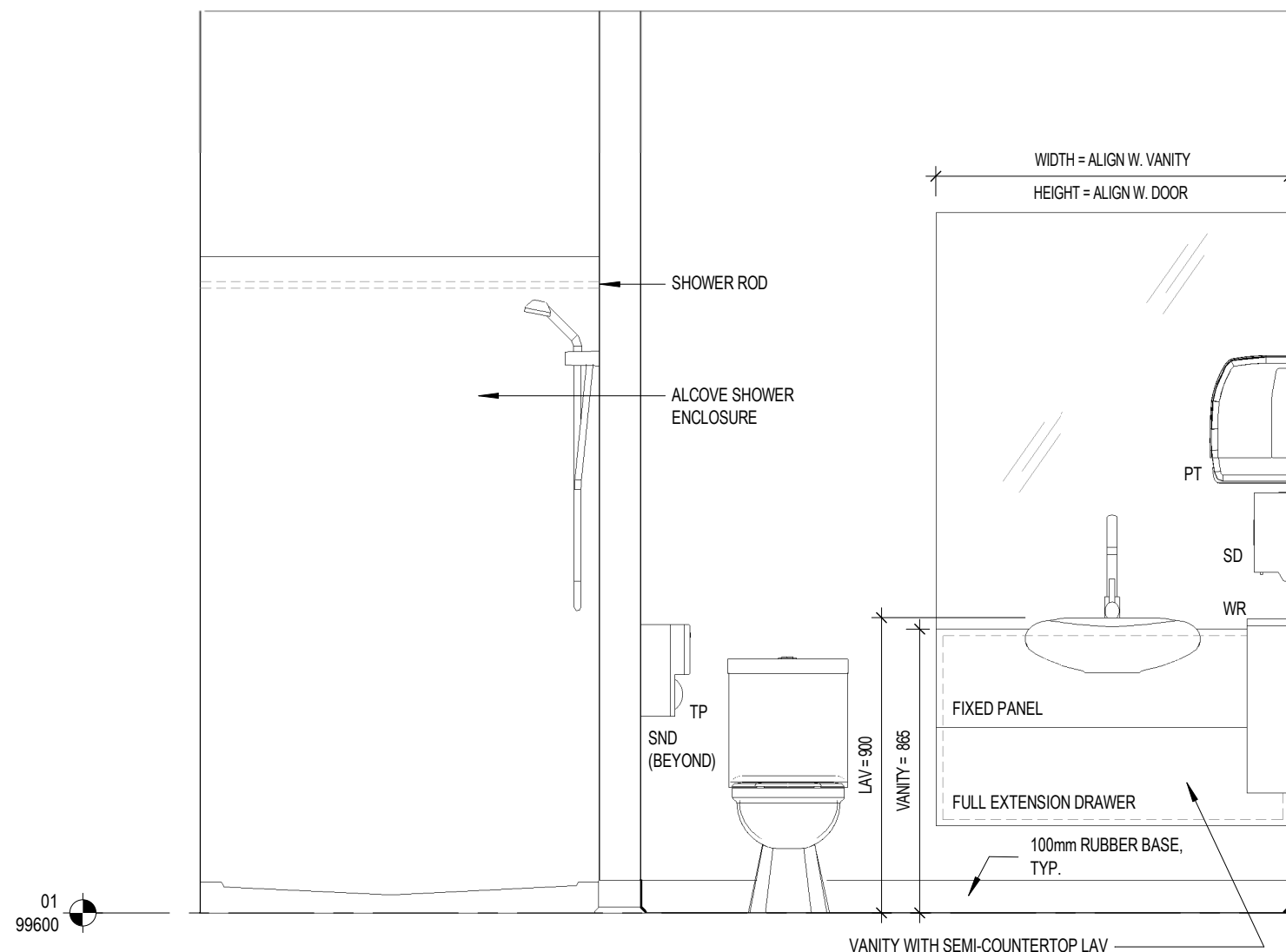
8 WC + SHOWER (L2) - ELEV 3  
1 : 20



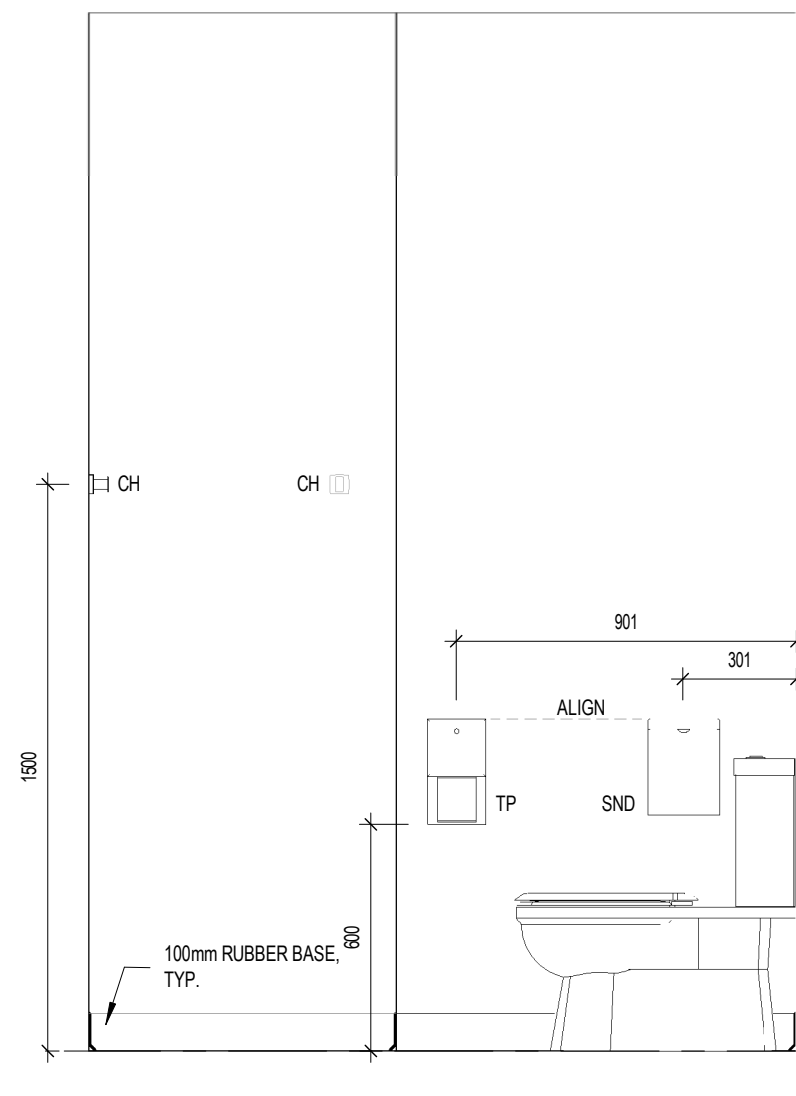
9 WC + SHOWER (L2) - ELEV 4  
1 : 20



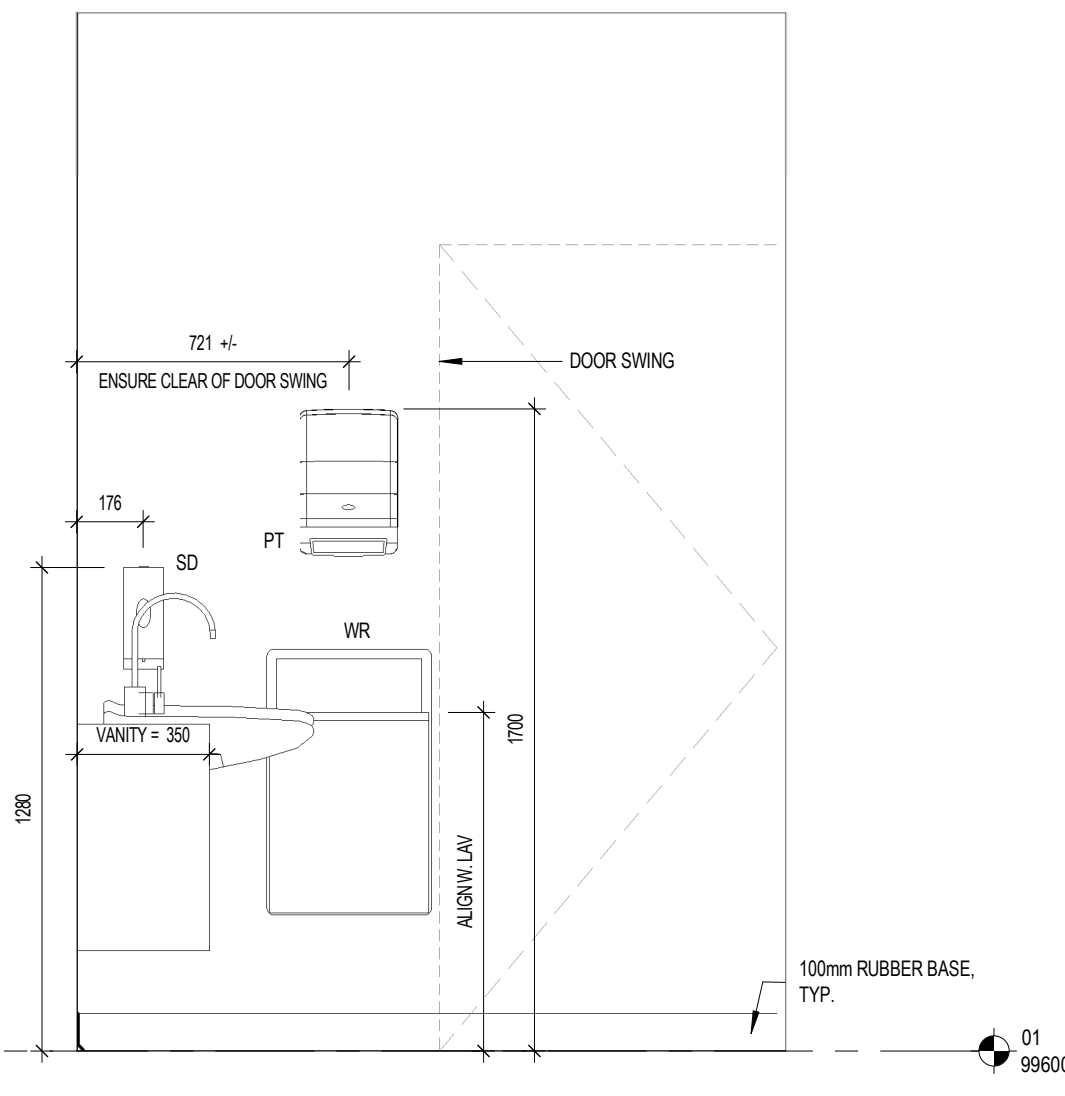
10 TYPICAL W.C. (L1)  
1 : 20



11 WC + SHOWER (L1) - ELEV 1  
1 : 20

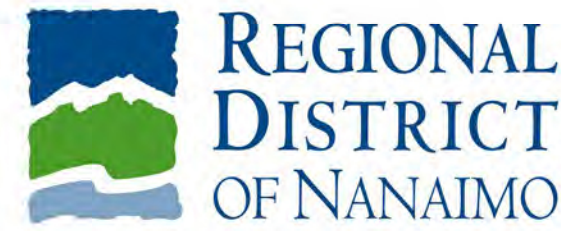


12 WC + SHOWER (L1) - ELEV 2  
1 : 20



13 WC + SHOWER (L1) - ELEV 3  
1 : 20

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Do not scale the drawings.



5	2022-07-22	ISSUED FOR TENDER
4	2022-05-20	ISSUED FOR CLASS A COSTING

NO.	DATE	DESCRIPTION
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SEAL



PROJECT TITLE  
**DASHWOOD FIRE HALL REPLACEMENT**

230 HOBBS ROAD  
QUALICUM BEACH BC

SHEET TITLE

MILLWORK - WASHROOMS

DATE	2022-01-14	SHEET NO.
PROJECT NO.	20-007	A6.5
SCALE	1 : 20	
DRAWN BY	HS	



