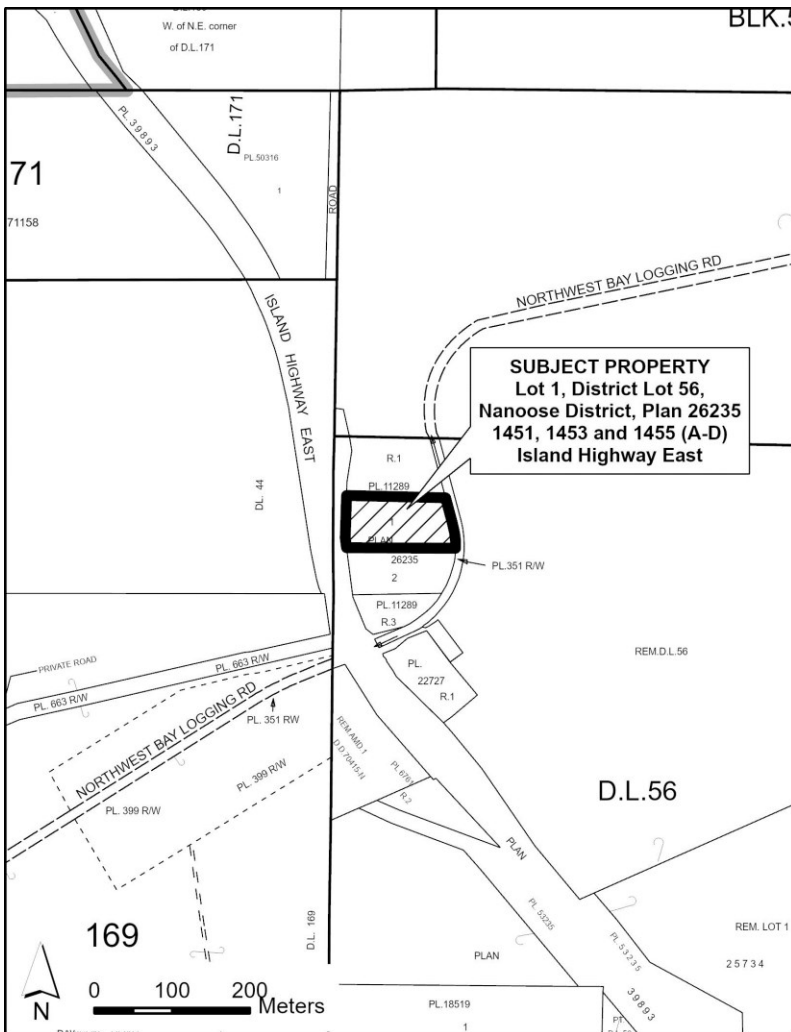


The Board of the Regional District of Nanaimo (RDN) intends to consider a resolution to issue a temporary use permit for the subject property identified in the map below.

BOARD MEETING DETAILS

Tuesday, February 27, 2024, at 1 p.m.

RDN Board Chambers - 6300 Hammond Bay Road, Nanaimo, B.C.



For more information please contact:

☎ 250-390-6510 or 1-877-607-4111

✉ planning@rdn.bc.ca

🌐 rdn.bc.ca/public-notices

TEMPORARY USE PERMIT

APPLICATION NO. PL2023-135

1451 Island Highway East

Electoral Area E

PURPOSE OF PROPOSED PERMIT

In general terms, the purpose of the proposed permit is to allow a licensed pharmaceutical grade cannabis recycling, extraction and testing facility for a period of three (3) years (see Attachment 1 – Site Plan). The use is currently permitted under a temporary use permit that will expire on March 16, 2024.

HAVE YOUR SAY

Submit your comments:

In Person - Attend the board meeting at the RDN Administration Office at 6300 Hammond Bay Road, Nanaimo.

In Writing - Comments and questions may be submitted by email to planning@rdn.bc.ca or by mail or in person to 6300 Hammond Bay Road, Nanaimo, B.C., V9T 6N2. Written submissions must be received at the RDN office by **4:30 p.m., Monday, February 26, 2024**, to ensure their inclusion in the public record.

At the Virtual Meeting - Please call or email for more information.

Following the Board meeting, there will be no further opportunity to comment on this application.

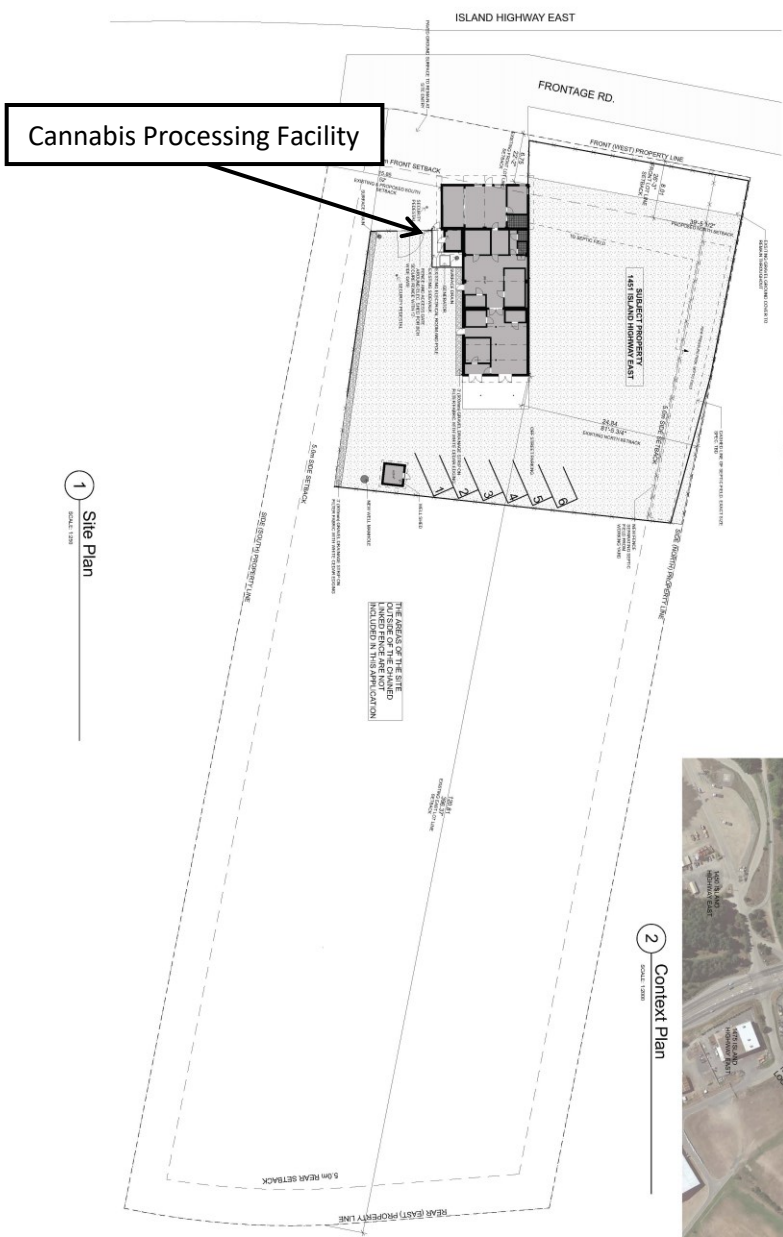
Just Want to Watch? View the webstream at www.rdn.bc.ca/agendas-minutes-videos or attend in person at 6300 Hammond Bay Road, Nanaimo.

WHERE CAN I INSPECT THE PERMIT?

A copy of the proposed Temporary Use Permit and application information may be inspected in person from the date of this notice until **February 27, 2024**, at the RDN Administration Office located at 6300 Hammond Bay Road, Nanaimo, B.C., open Monday to Friday, 8:30 a.m. to 4:30 p.m., excluding public holidays.

Get Involved RDN!

Attachment 1 Site Plan (Page 1 of 2)



1 Site Plan
Scale: 1:500



2 Context Plan
Scale: 1:500

Zone	Permitted	Existing	Proposed
Industrial 1 (I1)	Permitted	Existing	Proposed
Building Height	8.2m (26.9ft)	4.87m (15.98ft)	4.87m (15.98ft)
Front Coverage	0.25m (0.82ft)	0.25m (0.82ft)	0.25m (0.82ft)
Side Coverage	0.25m (0.82ft)	0.25m (0.82ft)	0.25m (0.82ft)
Setbacks	5.2m (17.06ft)	0.25m (0.82ft)	0.25m (0.82ft)
Front (West) Setback	5.2m (17.06ft)	0.25m (0.82ft)	0.25m (0.82ft)
Side (North) Setback	5.2m (17.06ft)	0.25m (0.82ft)	0.25m (0.82ft)
Side (South) Setback	5.2m (17.06ft)	0.25m (0.82ft)	0.25m (0.82ft)
Rear (East) Setback	5.2m (17.06ft)	0.25m (0.82ft)	0.25m (0.82ft)
Off Street Parking	0	2	8

USE OF VEHICLES OR MOTOR VEHICLES

The use of vehicles or motor vehicles is permitted on the site for the purpose of transporting goods or services to or from the site. The use of vehicles or motor vehicles is not permitted for the purpose of transporting passengers.

USE OF MOTOR VEHICLES

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<p>CONSULTANTS</p>																																		
<p>PROTONIFY</p> <p>Protonify Corp. 1451 Island Highway East Nanaimo BC Canada</p>																																		
<p>ISSUED / REVISIONS</p> <table border="1"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>2023-10-10</td> <td>ISSUED FOR PERMITTING</td> </tr> <tr> <td>2</td> <td>2023-10-10</td> <td>ISSUED FOR PERMITTING</td> </tr> <tr> <td>3</td> <td>2023-10-10</td> <td>ISSUED FOR PERMITTING</td> </tr> <tr> <td>4</td> <td>2023-10-10</td> <td>ISSUED FOR PERMITTING</td> </tr> <tr> <td>5</td> <td>2023-10-10</td> <td>ISSUED FOR PERMITTING</td> </tr> <tr> <td>6</td> <td>2023-10-10</td> <td>ISSUED FOR PERMITTING</td> </tr> <tr> <td>7</td> <td>2023-10-10</td> <td>ISSUED FOR PERMITTING</td> </tr> <tr> <td>8</td> <td>2023-10-10</td> <td>ISSUED FOR PERMITTING</td> </tr> <tr> <td>9</td> <td>2023-10-10</td> <td>ISSUED FOR PERMITTING</td> </tr> <tr> <td>10</td> <td>2023-10-10</td> <td>ISSUED FOR PERMITTING</td> </tr> </tbody> </table>		NO.	DATE	DESCRIPTION	1	2023-10-10	ISSUED FOR PERMITTING	2	2023-10-10	ISSUED FOR PERMITTING	3	2023-10-10	ISSUED FOR PERMITTING	4	2023-10-10	ISSUED FOR PERMITTING	5	2023-10-10	ISSUED FOR PERMITTING	6	2023-10-10	ISSUED FOR PERMITTING	7	2023-10-10	ISSUED FOR PERMITTING	8	2023-10-10	ISSUED FOR PERMITTING	9	2023-10-10	ISSUED FOR PERMITTING	10	2023-10-10	ISSUED FOR PERMITTING
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Attachment 1 Site Plan (Page 2 of 2 - Enlarged)

ZONING INFORMATION

Civic Address 1451 Island Highway East
Legal Description LOT 1, DISTRICT LOT 56, NANOOSE DISTRICT, PLAN 26235
Site Area 0.878 Ha (8,780m² | 94,507 ft²)
Zoning Industrial 1 (IN1)

	Permitted	Existing	Proposed
Building Height	8.0m (26.25')	4.69m (15.38')	4.69m (15.38')
Parcel Coverage	60% (5,268m ² 56,704 ft ²)	7.7% (682.25m ² 7,343 ft ²)	7.7% (682.25m ² 7,343 ft ²)
Setbacks			
Front Lot Line	8.0m (26.25')	6.76m (22.18')	Existing building - 6.8m (22.3')
Other Lot Lines			
North	5.0m (16.4')	24.82m (81.44')	11.84m (38.85')
East	5.0m (16.4')	120.81m (396.97')	119.31m (391.43')
South	5.0m (16.4')	15.92m (52.24')	15.92m (52.24')
Off Street Parking	6	2	6

 **NEW CONSTRUCTION**
 **EXISTING STRUCTURES**

DPA VI HIGHWAY CORRIDOR PROTECTION SUMMARY

1. Landscape screening and retention of natural and existing vegetation has been followed.
Planting along Frontage Road will remain. There will be no additional landscaping added.
2. Off street parking, loading are located along the side and rear of the building. This guideline has been followed. The cedar hedge per item 1 helps screen the sub-annex modular units from Frontage Rd. and Island Highway. See A-101.

DPA I NANOOSE BAY FORM AND CHARACTER SUMMARY

The form and character of the site will generally remain as per the existing site with the addition of the three (3) sub-annex modular units being located to the North of the existing building.

1. (a) Views are maximized towards the West
(b)(c) the existing building will be re-clad with corrugated metal and a new torch on roof will be installed.
(d) the existing topography will remain unchanged
(e) As the site is a high security area, there will be no public space for the public. All signage will be kept to a minimum as to discourage pedestrians from entering the site. This was discussed in a meeting with Nicholas Redpath on August 12, 2019.
3. See 1(e) above
4. Existing vegetation will remain with no added landscaping for screening the road.
5. Parking has been located at the rear of the building.
6. All sub-annex modular units will be screened from Frontage Rd. by the hedge as outlined above.
7. See 1(e) above.
8. See 1(e) above.
9. See 1(e) above.
10. See 1(e) above.
11. See 1(e) above.
12. All vegetation will remain unchanged as per 4. above.
13. See 1(e) above.

